COUNTY OF MAUI
MAUI COUNTY CODE, CHAPTER 16.16B ENERGY CODE
RESIDENTIAL PROVISIONS

COMPLIANCE METHOD
Check applicable method

☒	BUILDING COMPONENT SYSTEMS
☒	ELECTRICAL COMPONENT SYSTEMS
☒	MECHANICAL COMPONENT SYSTEMS
☐	
☐	

To the best of my knowledge, this project's design substantially conforms to the Energy Code.

Signature:
Name: MAX C. ONICHAK
Title: ARCHITECT
License No.: 6501

MAX C. ONICHAK
LICENSED PROFESSIONAL ARCHITECT
NO. AR 6501
HAWAII, U.S.A.
LIC EXPIRES 4-30-22

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION

* IMAGE SHOWN IS FOR ARTISTIC REFERENCE ONLY. FINAL HOME MAY VARY.

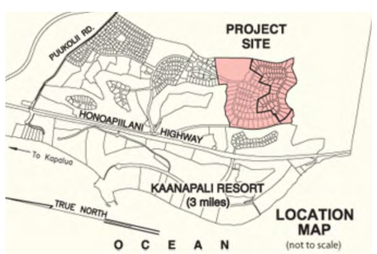
467 ANAPUNI LOOP
LANIKEHA SUBDIVISION
PHASE II / LOT 25

McCLINTOCK RESIDENCE

CHRIS ASHLEY
DESIGNS + DRAFTING
www.chrisashley.com
inquire@chrisashley.com | 808.855.5939

LAHAINA CONSTRUCTION
www.lahainaconstruction.com
Colin2@lahainaconstruction.com | 808.281.9004

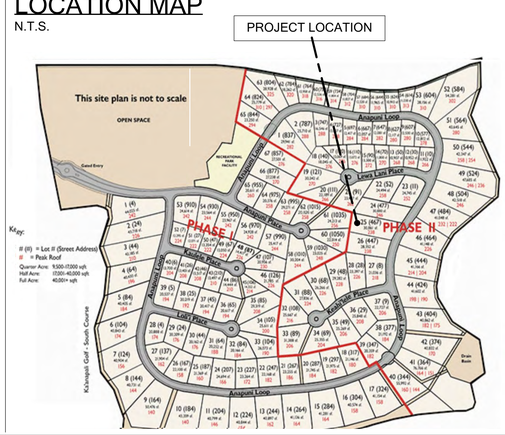
VICINITY MAP
N.T.S.



APPLICABLE CODES:

2006 INTERNATIONAL RESIDENTIAL CODE
2006 INTERNATIONAL BUILDING CODE
2006 UNIFORM PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE
2006 NFPA 1 WITH AMENDMENTS
2015 IECC (ENERGY CODE)

LOCATION MAP
N.T.S.



LOT DESCRIPTION

TMK NUM:	(2) 4-4-019:097
ADDRESS:	467 ANAPUNI LOOP, LAHAINA, HI 96761
PARCEL:	LANIKEHA SUBDIVISION
LOT NUMBER:	PHASE II, LOT 25
LOT AREA:	30,863 SQUARE FEET

BUILDING AREA

MAIN HOUSE:	
PROPOSED LIVING AREA:	3,811 SQUARE FEET
PROPOSED COVERED LANAI AREA:	506 SQUARE FEET
GARAGE AND STORAGE:	
PROPOSED GARAGE AREA:	578 SQUARE FEET
PROPOSED STORAGE AREA:	100 SQUARE FEET
PROPOSED BUILDING COVERAGE:	4,995 SQUARE FEET
TOTAL LOT AREA:	30,863 SQUARE FEET
% LOT COVERAGE:	16 %

OWNER

CONTACT: COLIN McCLINTOCK
ADDRESS: P.O. BOX 1225
LAHAINA, HI 96767
PHONE: (808) 281-9004
EMAIL: COLIN2@LAHAINACONSTRUCTION.COM

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W03	POOL ENCLOSURE & SAFETY DEVICE
W04	POOL STRUCTURAL DETAILS
DATE	9/10/2021

T01

1. GENERAL NOTES

1.0 WHEN REQUIRED BY H.A.R. 16-115-9, CONTRACTOR TO NOTIFY ARCHITECT TO OBSERVE THE PROGRESS AND QUALITY OF THE EXECUTED WORK. CONTRACTOR SHALL REQUEST SUCH VISITS IN WRITING AND PROVIDE ARCHITECT WITH THE CURRENT DETAILED CONSTRUCTION SCHEDULE SO THAT SUCH VISITS CAN BE SCHEDULED (SEE GENERAL NOTES NO. 1.1.)
1.1 NON CONTRACTUAL OBSERVATION VISITS TO THE SITE BY ARCHITECT'S FIELD REPRESENTATIVES SHALL NOT BE CONSTRUED AS AN INSPECTION NOR APPROVAL OF CONSTRUCTION OR ITS COMPLIANCE WITH ARCHITECTURAL DRAWINGS. ARCHITECT WILL NOT PROVIDE OBSERVATION SERVICES OR CONSTRUCTION MONITORING UNLESS THERE IS A SEPARATE WRITTEN CONTRACTUAL AGREEMENT BETWEEN THE ARCHITECT, AND THE OWNER OR CONTRACTOR TO PERFORM SUCH SERVICES SETTING FORTH THE SCOPE AND RESPONSIBILITIES FOR SUCH.
1.2 ARCHITECT IS NOT RESPONSIBLE FOR ANY "OFF-SITE WORK, (UTILITIES, DRIVEWAY APRONS, ETC.)
1.3 ALL DETAILS, SECTIONS AND NOTES SHOWN ARE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS UNLESS OTHERWISE NOTED.
1.4 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
1.5 ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK INVOLVED.
1.6 THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY CONDITIONS WHICH MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE VISIBLE DISTRESS IN THE STRUCTURE.
1.7 ALL WORK SHALL CONFORM TO THE BEST PRACTICES PREVAILING IN THE VARIOUS TRADES COMPRISING THE WORK.
1.8 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, SAFETY PRECAUTIONS AND PROCEDURES REQUIRED TO PERFORM THE WORK.
1.9 CONTRACTOR SHALL ENSURE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, CURBS, CONDUITS, BOLTS, INSERTS, ETC., PRIOR TO THE PLACEMENT OF CONCRETE.
1.10 CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SHORING FOR ALL STRUCTURAL MEMBERS DURING ALL PHASES OF CONSTRUCTION.
1.11 ALL CONDITIONS OF POTENTIAL INSTABILITY OF EMBANKMENTS, CUT OR FILL SLOPES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
1.12 VERIFY FRAMING (WHERE APPLICABLE) WITH A.C. AND PLUMBING CONTRACTORS TO INSURE PROPER INSTALLATION OF DUCTING AND PLUMBING.
1.13 DO NOT SCALE DRAWINGS.
1.14 ALL WALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.
1.15 GRADES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO START OF WORK.
1.16 CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM COORDINATION WITH STATE AND LOCAL AUTHORITIES AND UTILITIES.
1.17 CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY TOILET FACILITIES THROUGHOUT THE CONSTRUCTION. CHEMICAL TOILETS SHALL BE OF AN APPROVED TYPE, AND SHALL BE SERVICED REGULARLY TO PREVENT CONTAMINATION OF THE AREA.
1.18 POOL AND SPA DESIGN BY OTHERS.
1.19 SITE DRAINAGE, LANDSCAPING AND IRRIGATION DESIGN AND DETAILS BY OTHERS.
1.20 ALL 4X BEAMS OR LARGER TO BE NO. 1 OR BETTER DOUGLAS FIR LARCH. GLULAM'S TO BE VISUALLY GRADED WESTERN SPECIES 24F-V4.
1.21 ALL SOLID SAWN LUMBER TO BE TREATED.
1.22 CONTRACTOR SHALL PROVIDE ARCHITECT FOR REVIEW, ENGINEER CERTIFIED SHOP DRAWINGS OF ALL MANUFACTURED STRUCTURAL BUILDING SYSTEMS (E.G., ROOF TRUSSES, STRUCTURAL PANELS AND BEAMS, ETC.), PRIOR TO START OF ANY CONSTRUCTION AND ORDERING MATERIALS. THESE PLANS SHOW DESIGN CONCEPT ONLY. ACTUAL DESIGN AND LAYOUT TO BE DETERMINED BY HAWAII LICENSED STRUCTURAL ENGINEER CONSULTING W/ SYSTEM MANUFACTURER.
1.23 DESIGN CRITERIA - LIVE LOADS:

ROOF (PITCHES 4:12 AND GREATER	16 PSF
ROOF (PITCHES LESS THAN 4:12)	20 PSF
FLOORS	60 PSF
STAIRWAYS	100 PSF
CORRIDOR	100 PSF
WIND 110 MPR I.B.C. SEC. 1609, HI. V=105 M/S=47	
EARTHQUAKE D1 FIGURE R301.2(2) IBC SEC. 1613	

1.24 ASSUMED SOIL BEARING 2500 PSI - CONTRACTOR TO VERIFY.
1.25 THE ARCHITECT RECOMMENDS A GEOTECHNICAL INVESTIGATION IN ORDER TO DETERMINE THE SUBSURFACE CONDITIONS OF ANY PROJECT AND VERIFICATION OF FOUNDATION DESIGN CRITERIA, IN THE ABSENCE OF GEOTECHNICAL REPORT, CHANCES OF ENCOUNTERING UNFORESEEN UNSUITABLE SOIL CONDITIONS ARE GREATLY INCREASED. IT IS ARCHITECT'S UNDERSTANDING THAT THE OWNER IS ELECTING NOT TO PROVIDE A GEOTECHNICAL REPORT FOR THIS PROJECT. THEREFORE, PROVISIONS OF CHAPTER 18 OF THE 2006 IBC (AS AMENDED BY THE COUNTY OF MAUI) WILL BE MADE. THE OWNER AGREES TO HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, LOSSES, DAMAGES, LIABILITY AND COSTS CONNECTED WITH ADVERSE BUILDING PERFORMANCE AS A RESULT OF UNSUITABLE SOIL CONDITIONS THAT DO NOT MEET THE DESIGN CRITERIA ASSUMED BY THE ARCHITECT WITHOUT THE BENEFIT OF A GEOTECHNICAL REPORT.
1.26 ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH OR APPROVED WELL GRADED BANKRUN MATERIAL. 4" MAX, SIZE OF ROCK. COMPACT TO AT LEAST 95% OF ITS MAX. DENSITY AS DETERMINED BY ASTM D-1557. PROVIDE DRAINAGE AND DEWATERING AROUND ALL WORK TO AVOID WATER-SOFTENED FOOTINGS.
1.27 THE ARCHITECT DOES NOT GUARANTEE NOR IS ARCHITECT RESPONSIBLE FOR THE PERFORMANCE OR LACK THEREOF, FOR THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, SUPPLIER OR ANY OTHER PERSON OR ENTITY FURNISHING MATERIALS OR PERFORMING ANY WORK ON THE PROJECT.
1.28 THIS PROJECT HAS BEEN DESIGNED WITH A PEAK RATE OF ENERGY USAGE LESS THAN 3.4 BTU/H FT2 OR 1.0 WATT/FT2 OF FLOOR AREA FOR SPACE CONDITIONING PURPOSES. CONTRACTOR SHALL PROVIDE ARCHITECT FOR REVIEW, ENGINEER CERTIFIED SHOP DRAWINGS OF ALL MECHANICAL SYSTEMS OF CONDITIONED SPACES THAT EXCEED THE ABOVE PEAK RATES PRIOR TO START OF ANY CONSTRUCTION AND ORDERING MATERIALS. ACTUAL DESIGN AND LAYOUT TO CONFORM TO COUNTY ENERGY CODE AND BE DETERMINED BY HAWAII LICENSED MECHANICAL ENGINEER CONSULTING W/ SYSTEM MANUFACTURER. ELECTRICAL CONTRACTOR TO VERIFY WITH OWNER NUMBER & LOCATION OF ALL ELECTRICAL FIXTURES PRIOR TO CONSTRUCTION.

2. BUILDING CODE REQUIREMENTS

2.1 PROVISIONS OF THE FOLLOWING STANDARDS APPLY TO EVERY DWELLING WHEN APPLICABLE:
2006 IBC AMENDMENTS (2012-03-19) - ORDINANCE 3928 WITH COUNTY AMENDMENTS.
2006 IRC AMENDMENTS (2012-03-19) - ORDINANCE 3929 WITH COUNTY AMENDMENTS.
NATIONAL & STATE PLUMBING CODE WITH COUNTY AMENDMENTS.
NATIONAL & STATE ELECTRICAL CODE WITH COUNTY AMENDMENTS.
STATE ENERGY CONSERVATION CODE.
STATE FIRE CODE.
OUTDOOR LIGHTING ORDINANCE.
HAWAIIAN REVISED STATUTES.
STREETS AND SIDEWALK ORDINANCES.
SUBDIVISION AND ZONING ORDINANCES.
PUBLIC HEALTH REGULATIONS.
GRADING AND FLOOD CONTROL ORDINANCES.
CONTRACTOR TO PROVIDE AND IMPLEMENT A SITE SPECIFIC "BEST MANAGEMENT PLAN" TO KEEP WATER POLLUTANTS ON SITE.
2.2 SMOKE DETECTORS SHALL BE PROVIDED AT ALL BEDROOM AREAS. CONNECT TO RESIDENCE POWER SOURCE (110V).
2.3 FRAMING - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH CHAPTER 23 OF THE 2006 IBC FOR ALL FRAMING, EXECUTION, AND FOR VERIFICATION OF ALL LOCAL DESIGN LOADS.
2.4 PROVIDE ATTIC VENTILATION AS REQUIRED BY LOCAL BUILDING CODE.
2.5 WATER CLOSETS SHALL HAVE 30" MIN. CLEAR WIDTH & 21" MIN. OF CLEAR SPACE IN FRONT OF EACH.
2.6 WATERPROOFING AND DRAINING OF WALLS BEHIND PLANTERS AND RETAINING WALLS SHALL BE PER 2006 INTERNATIONAL BUILDING CODE (2006 IBC).
2.7 FOUNDATION PLATES OR SILLS SHALL BE BOLTED WITH MINIMUM 1/2" DIA. STEEL BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE OR REINFORCED MASONRY AND NOT MORE THAN 32" APART AND 12" FROM ENDS. MANUAL OR POWER DRIVEN FASTENERS MAY BE USED IN LIEU OF ANCHOR BOLTS WHEN THEY ARE OF THE APPROVED TYPE AND USED ACCORDING TO THE APPROVED REPORT, EXCEPT FOR SHEAR WALLS WHERE BOLTS MUST BE USED.
2.8 BUILDING PAPER OR METAL BARRIER SHALL BE PROVIDED BETWEEN WOOD AND CONCRETE OR MASONRY UNLESS WOOD IS PRESSURE TREATED WITH AND APPROVED PRESERVATIVE MARKED BY AN APPROVED AGENCY.
2.9 CRAWL SPACES - WHEN WOOD JOISTS OR THE BOTTOM OF WOOD STRUCTURAL FLOORS WITHOUT JOISTS ARE LOCATED CLOSER THAN 24 INCHES OR WOOD GIRDERS ARE LOCATED CLOSER THAN 18 INCHES TO EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION, THE FLOOR ASSEMBLY, INCLUDING POSTS, GIRDERS, JOISTS AND SUBFLOOR, SHALL BE APPROVED WOOD OF NATURAL RESISTANCE TO DECAY. ACCESSIBLE UNDERFLOOR AREAS SHALL BE PROVIDED WITH AN 18" X 24" MIN. OPENING.
2.10 NOTCHES AT THE ENDS OF JOISTS SHALL NOT EXCEED 1/4 THE JOIST DEPTH. HOLES BORED IN JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST AND DIAMETER SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED 1/6 THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN.
2.11 FIREBLOCKING BETWEEN STUDS @ 10' O.C. MAX.
2.12 ATTICS ACCESS WITH VERTICAL CLEAR HEIGHT OF 30 INCHES OR MORE SHALL BE PROVIDED. MINIMUM SIZE ACCESS SHALL BE 22" X 30" AND SHALL BE IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.
2.13 GUARDRAILS SHALL BE PROVIDED AT ALL UNENCLOSED FLOORS WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR FLOOR BELOW, GUARDRAILS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. 31.5" HANDRAIL HEIGHT AND BELOW GUARDRAILS AND HANDRAILS SHALL HAVE INTERMEDIATE RAILS SUCH THAT AN OBJECT 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
2.14 IBC SEC. 1009 HANDRAILS AT STAIRS SHALL BE NOT LESS THAN 34" OR MORE THAN 38" ABOVE NOSING. HANDGRIP NOT LESS THAN 1-1/4" OR MORE THAN 2" IN CROSS SECTIONAL.
2.15 IBC SEC. 1009 STAIRWAYS - STAIR RISER: 4" MIN., 7" MAX., STAIR RUNS: 11" MIN. RUN. HEADROOM: 6'-8" MIN. FROM A PLANE PARALLEL AND TANGENT TO THE STAIRWAY TREAD NOSINGS TO ANY CONSTRUCTION ABOVE AT ALL POINTS.
2.16 INSTALL R-19 INSULATION BETWEEN ROOF FRAMING MEMBERS, 2" OF FOAM BOARD INSULATION OR RADIANT BARRIER PER MAUI ENERGY CODE: 402.1.1.4.1.2 OR R-30 ON CEILING FRAMING MEMBERS PER MAUI ENERGY CODE: 402.1.1.4.1.1 AND COUNTY OF MAUI CODE, 16.16.220 "RESIDENTIAL ROOF HEAT GAIN REQUIREMENTS."
2.17 30' MAX. "HEIGHT" OF STRUCTURE - MEANS THE VERTICAL DISTANCE MEASURED FROM A POINT ON THE TOP OF A STRUCTURE TO A CORRESPONDING POINT DIRECTLY BELOW ON THE NATURAL OR FINISH GRADE, WHICHEVER IS LOWER.
2.18 MECHANICAL VENTILATION IN TOILET COMPARTMENTS SHALL PROVIDE A COMPLETE AIR CHANGE EVERY 5 MINUTES.

3. WINDOW REQUIREMENTS

3.1 PROVIDE NATURAL LIGHT AND VENTILATION FOR HABITABLE ROOMS NOT LESS THAN 1/8 OF THE GROSS FLOOR AREA. 1/2 OF THE REQUIRED WINDOW AREA IN ALL ROOMS SHALL BE OPENABLE. GLASS DOORS PROVIDING REQUIRED NATURAL VENTILATION SHALL BE PROVIDED WITH INSECT SCREEN DOORS.
3.2 ESCAPE OR RESCUE BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
3.3 OPERABLE WINDOWS ABOVE THE FIRST FLOOR WHICH HAVE A SILL HEIGHT LESS THAN 30 INCHES ABOVE FINISH FLOOR SHALL BE PROVIDED WITH A GUARDRAIL OR OTHER BARRIERS TO PREVENT A PERSON FROM FALLING THROUGH THE OPENING.
3.4 PROVIDE SAFETY GLAZING.
3.4.1 WINDOWS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
3.4.2 WINDOWS IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM OR TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
3.4.3 WINDOWS AT BATHTUB & SHOWER WHEN EXPOSED EDGE IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.
MAUI COUNTY CODES CAN BE SEEN AT WWW.CO.MAUI.HI.US - CLICK "COUNTY CODE."

HAWAII REVISED STATUTES 196-6.5

A SOLAR WATER HEATER SYSTEM IS REQUIRED FOR ALL NEW SINGLE FAMILY DWELLINGS.

COUNTY OF MAUI USE ONLY

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NO. AR 8511
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LIC EXPIRES 4-30-22
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NO.	DESCRIPTION	DATE

McCLINTOCK
RESIDENCE
LOT 25
(2)-4-4-019:097

GENERAL NOTES

DATE: 9/10/2021

T02

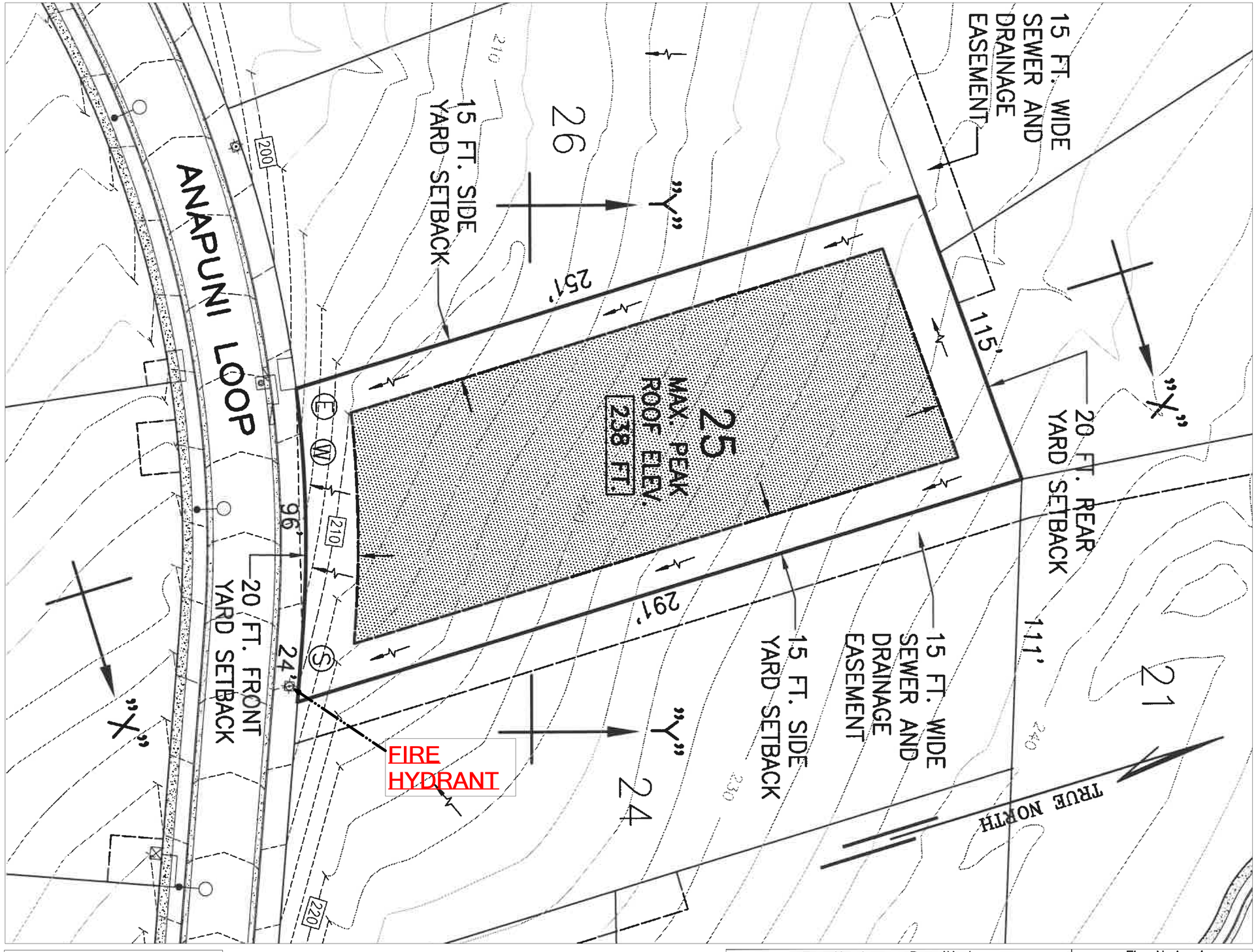

IMAGE NOT TO SCALE

No Access Permitted	Fire Hydrant
100.00 Lot Dimension	St. Light Std.
Ⓓ Ⓦ Ⓢ Ⓔ Utlity–Drn., Wtr., Swr., Elect. (For Owner's Use)	Property Line
Transformer	Building Limit Area
Drainage Flow Line	CRM Wall

COUNTY OF MAUI USE ONLY

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NO.	DESCRIPTION	DATE

McCLINTOCK
RESIDENCE
LOT 25
(2)-4-4-019:097

TOPO

DATE: 9/10/2021

SP01

MINIMUM BMP CHECKLIST FOR SMALL PROJECTS:

1. **STABILIZED CONSTRUCTION ENTRANCE**
ALL POINTS OF EGRESS AND INGRESS TO A SITE SHALL BE PROTECTED WITH A STABILIZED CONSTRUCTION ENTRANCE. 20' x 20' MIN.

2. **STOCKPILES**
STOCKPILES SHALL NOT BE LOCATED IN DRAINAGE WAYS OR OTHER AREAS OF CONCENTRATED FLOWS. DURING PERIODS OF WET WEATHER, SUCH AS THE RAINY SEASON, STOCKPILES SHALL BE STABILIZED. STOCKPILES COVERED IN PLASTIC WHEN NOT IN USE. SEDIMENT TRAPPING DEVICES SUCH AS FENCES, TRAPS, BASINS OR BARRIERS SHALL BE USED

3. **DUST CONTROL**
DUST CONTROLSHOULD BE APPLIED TO REDUCE DUST EMISSIONS. THE CONTRACTOR SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONSTROL STANDARDS CONTAINED IN HAWAII AMINISTRATIVE RULES: CHAPTER 11-60, "AIR POLLUTION CONTROL".

4. **SEDIMENT BARRIERS OR TRAPS**
SEDIMENT TRAPPING DEVICES SUCH AS FENCES, TRAP BASINS OR BARRIERS SHALL BE USED DOWN SLOPE OF ALL DISTURBED AREAS AND AROUND THE BASE OF ALL MATERIAL STOCKPILES.

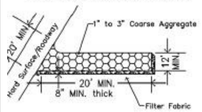
5. **SLOPE PROTECTION**
SURFACE FLOW FROM ABOVE AN EXPOSED SLOPE SHALL NOT BE ALLOWED TO FLOW OVER THE SLOPE WITHOUT PROTECTION. SLOPE PROTECTION SHALL BE USED ON AREAS WITH SLOPES GREATER THAN 50% AND ON AREAS OF MODERATE SLOPES THAT ARE PRONE TO EROSION.

6. **INLET PROTECTION**
ALL STORM DRAIN INLETS ON SITE, AND THOSE OFFSITE THAT MAY RECEIVE RUNOFF FROM THE SITE SHALL USE AN INLET PROTECTION DEVICE.

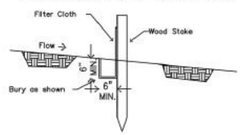
7. **TEMPORARY STABILIZATION**
IS NOT REQUIRED WHEN THE DISTURBED AREA WILL BE WORKED WITHIN A 14 DAY PERIOD. STABILIZATION IS REQUIRED FOR DISTURBED AREAS AT FINAL GRADE AND FOR THOSE AREAS THAT WILL NOT BE WORKED WITHIN A 14 DAY PERIOD.

8. **PERMANENT STABILIZATION**
ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO REMOVING EROSION AND SEDIMENT MEASURES. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND AREAS OF DISTURBED SOIL WHICH RESULT FROM THE REMOVAL OF THE TEMPORARY MEASURES SHALL BE IMMEDIATELY PERMANENTLY STABILIZED. AREA TO BE PERMANENTLY SEEDED/MULCHED WITHIN 30 DAYS OF FINAL GRADE.

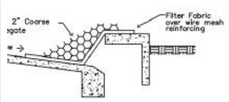
Stabilized Construction Entrance



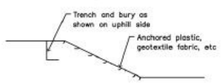
Sample Sediment Barrier (method varies)



Inlet Protection



Slope Protection



ADDITIONAL BMPS:

THE FOLLOWING MEASURES SHALL BE TAKEN DURING CONSTRUCTION:

1. PREVENT CEMENT PRODUCTS, OIL, FUEL, AND OTHER TOXIC SUBSTANCES FROM CONTAIMANTING SITE.
2. AVOID BIOCIDES, OR APPLY ONLY DURING PERIODS OF LOW RAINFALL TO MINIMIZE CHEMICAL RUNOFF.
3. COVER OPEN VEHICLES CARRYING SOILS, GRAVEL, OR OTHER PARTICULATE MATTER.
4. CONSTRUCT DRAINAGE CONTROL FEATURES, SUCH AS BERMS.
5. KEEP RUN-OFF ON-SITE.
6. RETAIN GROUND COVER UNTIL THE LAST POSSIBLE DATE.
7. STABILIZE DENUDED AREAS BY SODDING OR PLANTING AS SOON AS POSSIBLE. REPLANTING SHOULD INCLUDE SOIL AMENDMENTS, FERTILIZERS AND TEMPORARY IRRIGATION. USE HIGH SEEDING RATES TO ENSURE RAPID STAND ESTABLISHMENT.

EROSION CONTROL PLAN

THE FOLLOWING MEASURE WILL BE TAKEN TO CONTROL EROSION DURING THE CONSTRUCTION PERIOD.

1. MINIMIZE CONSTRUCTION TIME.
2. RETAIN EXISTING GROUND COVER AS LONG AS POSSIBLE.
3. EARLY INSTALLATION OF EROSION CONTROL MEASURES.
4. USE TEMPORARY AREA SPRINKLERS IN NON-ACTIVE AREAS WHEN GROUND COVER IS REMOVED.
5. PROVIDE WATER FOR IMMEDIATE SPRINKLING, AS NEEDED, IN ACTIVE AREAS.
6. USE TEMPORARY EROSION CONTROL MEASURES WHERE NEEDED.
7. THOROUGHLY WATER GRADED AREAS AT THE END OF EACH WORK DAY AND WEEKENDS.
8. PROVIDE TEMPORARY IRRIGATION SYSTEM, AND GRASS ALL CUT AND FILL SLOPES WITHIN 30 DAYS AFTER GRADING WORK IS COMPLETED.

LOCATION MAP
NTS

COMPACTION REQUIREMENTS

1. TESTING OF MATERIALS SHALL BE CONDUCTED BY AN APPROVED INDEPENDENT TESTING AGENCY IN ACCORDANCE WITH ASTM STANDARD METHODS OR AS SPECIFIED BY THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION, AS FOLLOWS:
   - A. EMBANKMENT/SELECT BORROW AND SUBGRADE MATERIALS: ONE (1) COMPACTION TEST PER 600 SQUARE YARDS;
   - B. AGGREGATE SUBBASE COURSE: ONE (1) COMPACTION TEST PER 400 SQUARE YARDS; ONE (1) GRADATION AND SAND EQUIVALENT TEST PER PROJECT;
   - C. AGGREGATE BASE COURSE: ONE (1) COMPACTION TEST PER 300 SQUARE YARDS; ONE (1) GRADATION AND SAND EQUIVALENT TEST PER PROJECT;
   - D. ASPHALT CONCRETE PAVEMENT OR ASPHALT TREATED BASE COURSE: THREE (3) A.C. CORES FOR THICKNESS AND DENSITY TESTS PER PROJECT;
   - E. TRENCH BACKFILL MATERIAL: ONE (1) TEST FOR EACH 300 LINEAL FEET OF TRENCH PER LIFT OF MATERIAL.
2. CONTRACTOR SHALL SUBMIT ALL TESTING REPORTS INCLUDING RESULTS TO THE COUNTY'S INSPECTION AGENCY FOR REVIEW AND APPROVAL PRIOR TO COUNTY'S ACCEPTANCE OF WORK.
3. THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE COUNTY OF ANY TESTING FAILURES AND CORRECT EACH FAILURE PRIOR TO PROCEEDING TO THE NEXT PHASE OF CONSTRUCTION. NONCOMPLIANCE WILL REQUIRE REMOVAL OF ALL SUBSEQUENT WORK TO CORRECT THE AREA OF FAILURE. ALL COSTS OF TESTING, REMOVAL, AND RECONSTRUCTION, SHALL BE BORNE BY THE CONTRACTOR.

EROSION CONTROL

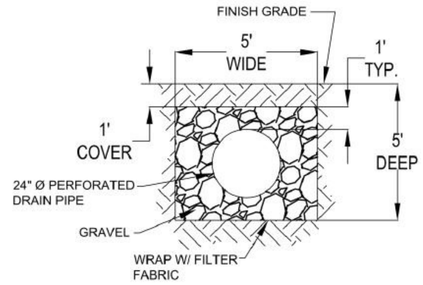
THE FOLLOWING MEASURES SHALL BE TAKEN TO CONTROL EROSION DURING THE SITE DEVELOPMENT PERIOD:

1. MINIMIZE TIME OF CONSTRUCTION.
2. RETAIN EXISTING GROUND COVER UNTIL LATEST DATE TO COMPLETE CONSTRUCTION.
3. EARLY CONSTRUCTION OF DRAINAGE CONTROL FEATURES.
4. USE TEMPORARY AREA SPRINKLERS IN NON-ACTIVE CONSTRUCTION AREAS WHEN GROUND COVER IS REMOVED.
5. STATION WATER TRUCK ON SITE DURING CONSTRUCTION PERIOD TO PROVIDE FOR IMMEDIATE SPRINKLING, AS NEEDED. IN ACTIVE CONSTRUCTION ZONES (WEEKENDS AND HLIDAYS INCLUDED.).
6. USE TEMPORARY BERMS AND CUT-OFF DITCHES, WHERE NEEDED, FOR CONTROL OF EROSION.
7. GRADED AREAS SHALL BE THOROUGHLY WATERED AFTER CONSTRUCTION ACTIVITY HAS CEASED FOR THE DAY AND ON WEEKENDS.
8. ALL CUT AND FILL SLOPES SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER GRADING WORK HAS BEEN COMPLETED.

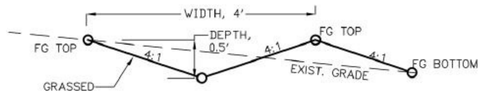
EARTHWORK:

DISTANCE FROM TIP OF CUT OR BOTTOM OF FILL TO PROPERTY LINES.

HEIGHT OF CUT OR FILL	DISTANCE FROM PROPERTY LINE
0' TO 2'	2'
MORE THAN 2' TO 4'	3'
MORE THAN 4' TO 6'	4'
MORE THAN 6' TO 10'	5'
MORE THAN 10' TO 15'	8'
MORE THAN 15'	



UNDERGROUND RETENTION SYSTEM
NOT TO SCALE



SWALE DETAIL - 4 FT WIDTH
NOT TO SCALE

ENVIRONMENTAL HEALTH CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL REMOVE ALL SILT AND DEBRIS RESULTING FROM HIS WORK AND DEPOSITED IN DRAINAGE FACILITIES, ROADWAYS, AND OTHER AREAS. THE COSTS INCURRED FOR ANY NECESSARY REMEDIAL ACTION BY THE STATE DEPARTMENT OF HEALTH SHALL BE PAYABLE BY THE CONTRACTOR.
2. THE CONTRACTOR, AT HIS EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE OF DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
3. ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS CONTAINED IN THE PUBLIC HEALTH REGULATIONS, STATE DEPARTMENT OF HEALTH, ON WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS, AND THE COUNTY GRADING ORDINANCE.
4. ALL SLOPES AND EXPOSED AREAS SHALL BE PLANTED OR PAVED WITHIN 30 DAYS AFTER THE GRADING WORK HAS BEEN COMPLETED.
5. CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE ENGINEER OF THE LOCATION OF DISPOSAL SITES. THE DISPOSAL SITE MUST ALSO FULFILL REQUIREMENTS OF THE GRADING ORDINANCES.
6. THE CONTRACTOR SHALL PROVIDE CONTINUOUS EROSION CONTROL MEASURES SHOWN IN THE APPROVED EROSION CONTROL PLAN AND OUTLINED IN THE REPORT ON DRAINAGE AND EROSION CONTROL. PROVIDE TEMPORARY DUST CONTROL BY SPRINKLING SEVEN (7) DAYS A WEEK. GRASS EXPOSED AREAS IMMEDIATELY AFTER GRADING IS COMPLETED.
7. THE CONTRACTOR SHALL NOT DEMOLISH OR CLEAR ANY STRUCTURE, SITE OR VACANT LOT WITHOUT FIRST ASCERTAINING THE PRESENCE OR ABSENCE OF RODENTS WHICH MAY ENDANGER THE PUBLIC HEALTH BY DISPERSAL FROM SUCH PREMISES. SHOULD SUCH INSPECTION REVEAL THE PRESENCE OF SUCH RODENTS, THE CONTRACTOR SHALL ERADICATE SUCH RODENTS BEFORE DEMOLISHING OR CLEARING SAID STRUCTURE, SITE OR VACANT LOT.

COUNTY OF MAUI USE ONLY

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NO. AR 6511
HAWAII, U.S.A.
LIC EXPIRES 4-30-22
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NO.	DESCRIPTION	DATE

McCLINTOCK
RESIDENCE
LOT 25
(2)-4-4-019:097

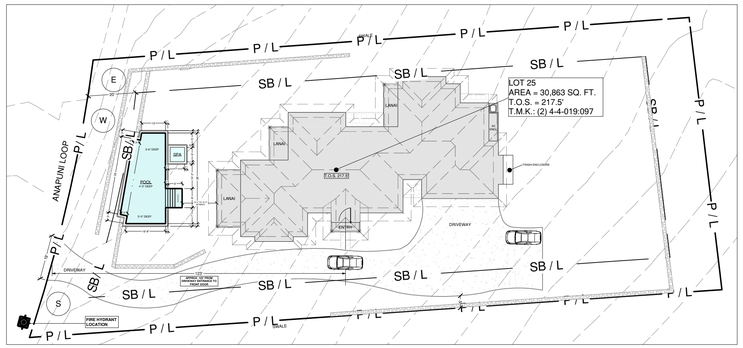
GRADING NOTES

DATE: 9/10/2021

C01

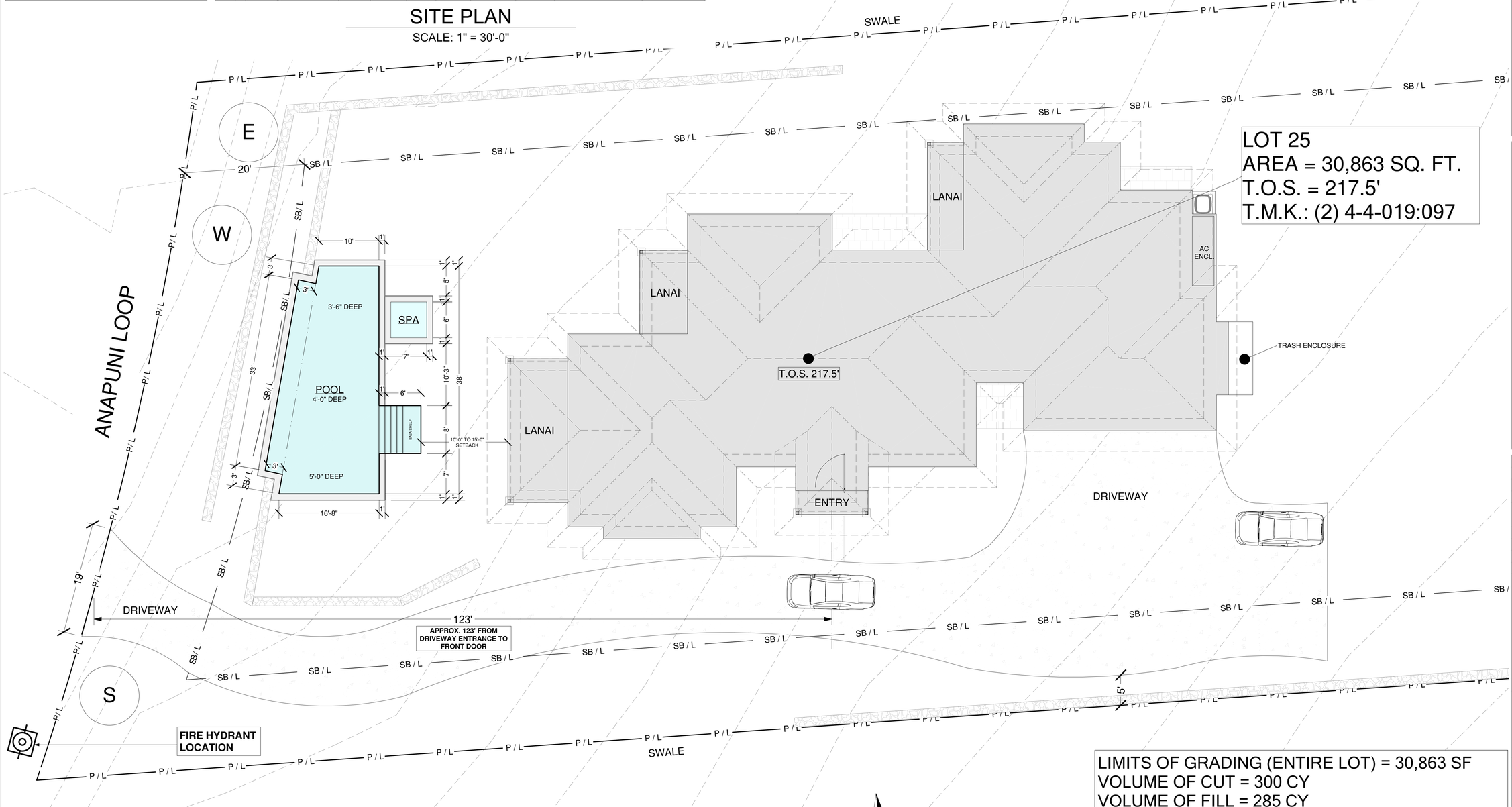
LEGEND:

- EXISTING MINOR CONTOUR LINE
- 580 EXISTING MAJOR GRADE CONTOUR LINE
- FINISHED MINOR CONTOUR LINE
- 580 FINISH MAJOR GRADE CONTOUR LINE
- SWALE CENTERLINE
- SILT BARRIER
- DUST FENCE
- OVER LAND RUNOFF FLOW DIRECTION
- TOW = 60.0' / BOW = 56.0' RETAINING WALL CALLOUT (NOT FOR AESTHETIC WALLS) TOW = "RETAINED SOIL ELEVATION" BOW = "SOIL ELEVATION AT TOE OF WALL"
- 32.13' SPOT ELEVATION
- FLOW DIRECTION (STORM RUNOFF)
- D8" DRAIN LINE WITH SIZE AND FLOW DIRECTION
- GRATED DRAIN INLET



SITE PLAN

SCALE: 1" = 30'-0"



SITE PLAN

SCALE: 1/8" = 1'-0"

N

LOT 25
AREA = 30,863 SQ. FT.
T.O.S. = 217.5'
T.M.K.: (2) 4-4-019:097

LIMITS OF GRADING (ENTIRE LOT) = 30,863 SF
VOLUME OF CUT = 300 CY
VOLUME OF FILL = 285 CY
MAX. DEPTH OF FILL = 6 FT

QUANTITIES INCLUDE AREA UNDER HOUSE

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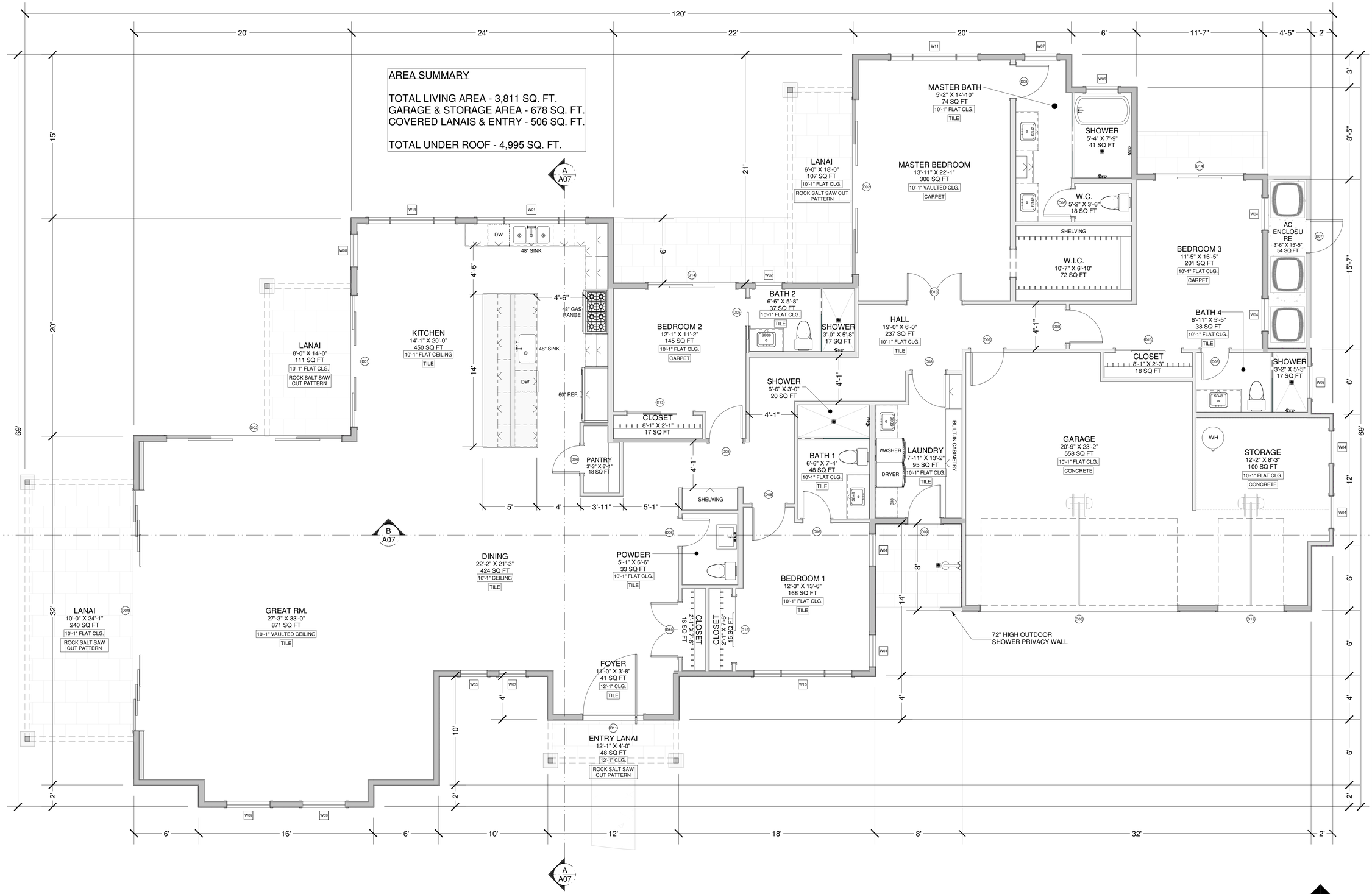
NO.	DESCRIPTION	DATE

McCLINTOCK
RESIDENCE
LOT 25
(2)-4-4-019:097

SITE &
GRADING PLAN

DATE: 9/10/2021

A01



FLOOR PLAN

SCALE: 1/4" = 1'-0"

N

INTERIOR ELEVATION KEY

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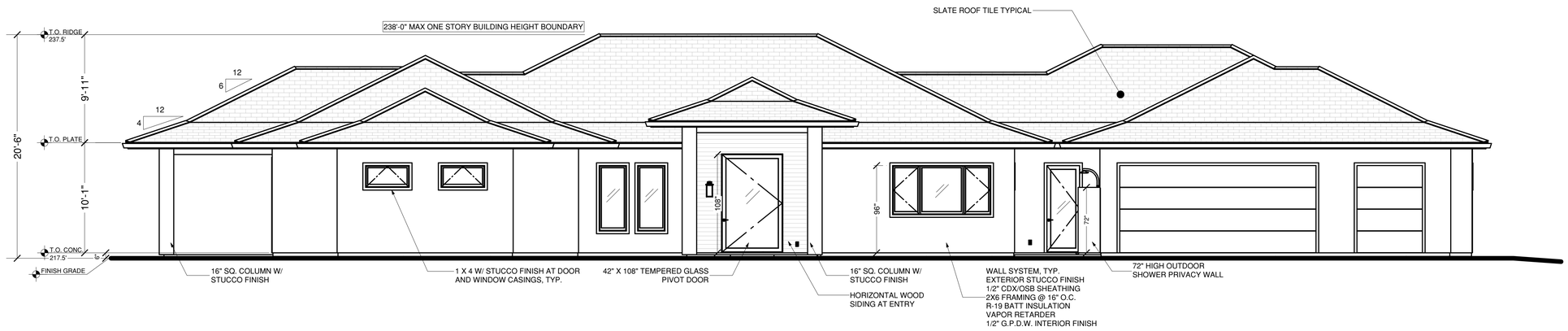
NO.	DESCRIPTION	DATE

McCLINTOCK RESIDENCE LOT 25 (2)-4-4-019:097

FLOOR PLAN

DATE: 9/10/2021

A02



EAST ELEVATION

SCALE: 3/16" = 1'-0"

WEST ELEVATION

SCALE: 3/16" = 1'-0"

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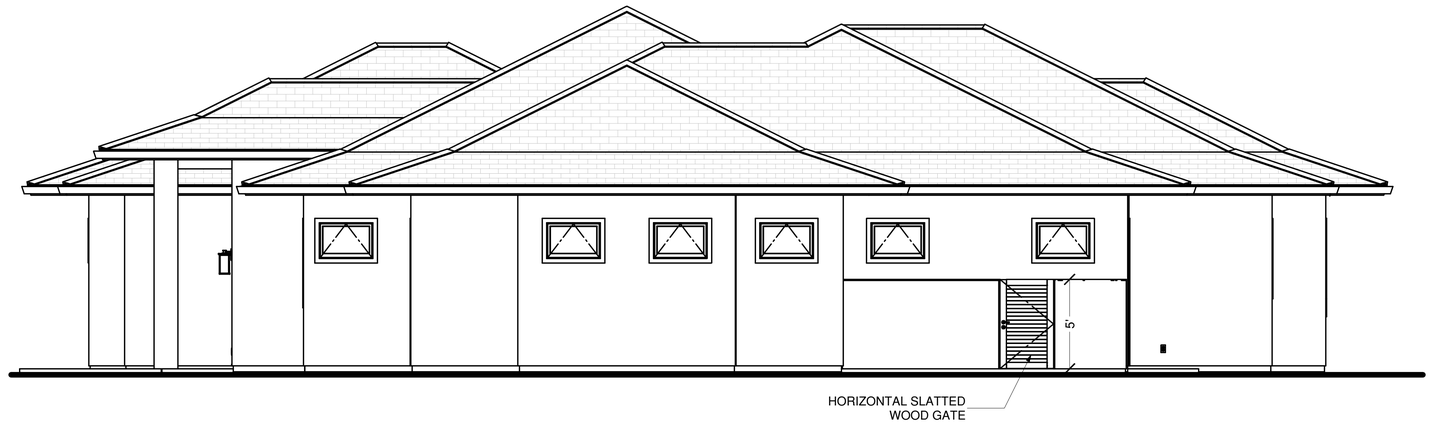
McCLINTOCK
RESIDENCE
LOT 25
(2)-4-4-019:097

EAST & WEST
ELEVATIONS

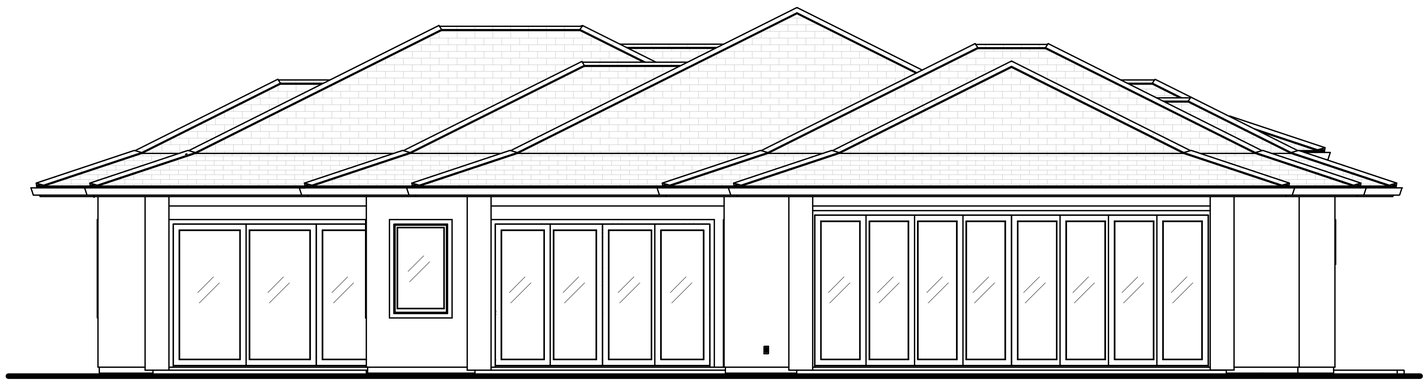
DATE: 9/10/2021

A03



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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NO.	DESCRIPTION	DATE

McCLINTOCK
RESIDENCE
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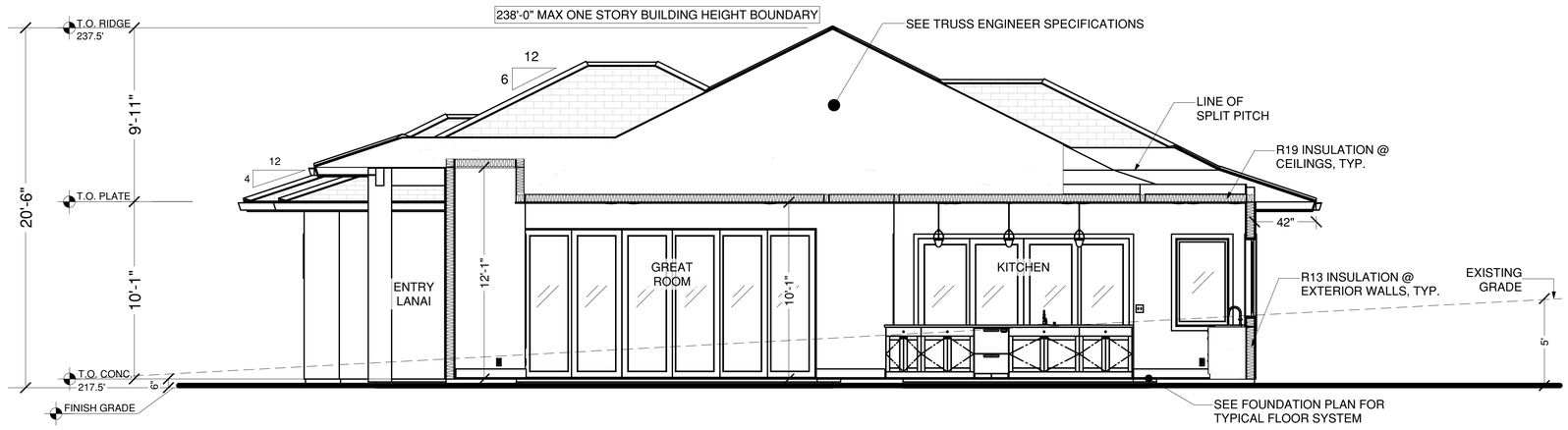
NORTH & SOUTH
ELEVATIONS

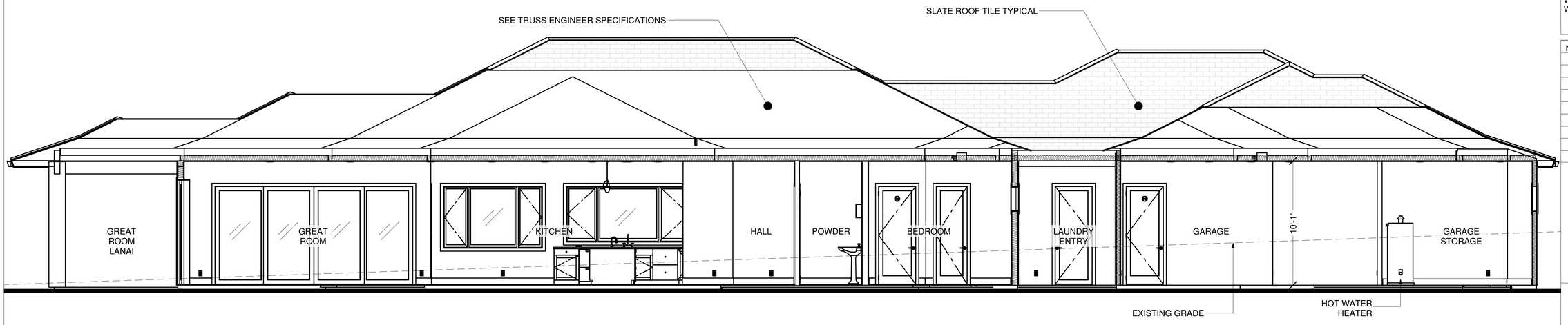
DATE: 9/10/2021

A04



SECTION A

SCALE: 1/4" = 1'-0"



SECTION B

SCALE: 1/4" = 1'-0"

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McCLINTOCK RESIDENCE LOT 25 (2)-4-4-019:097

BUILDING CROSS SECTIONS

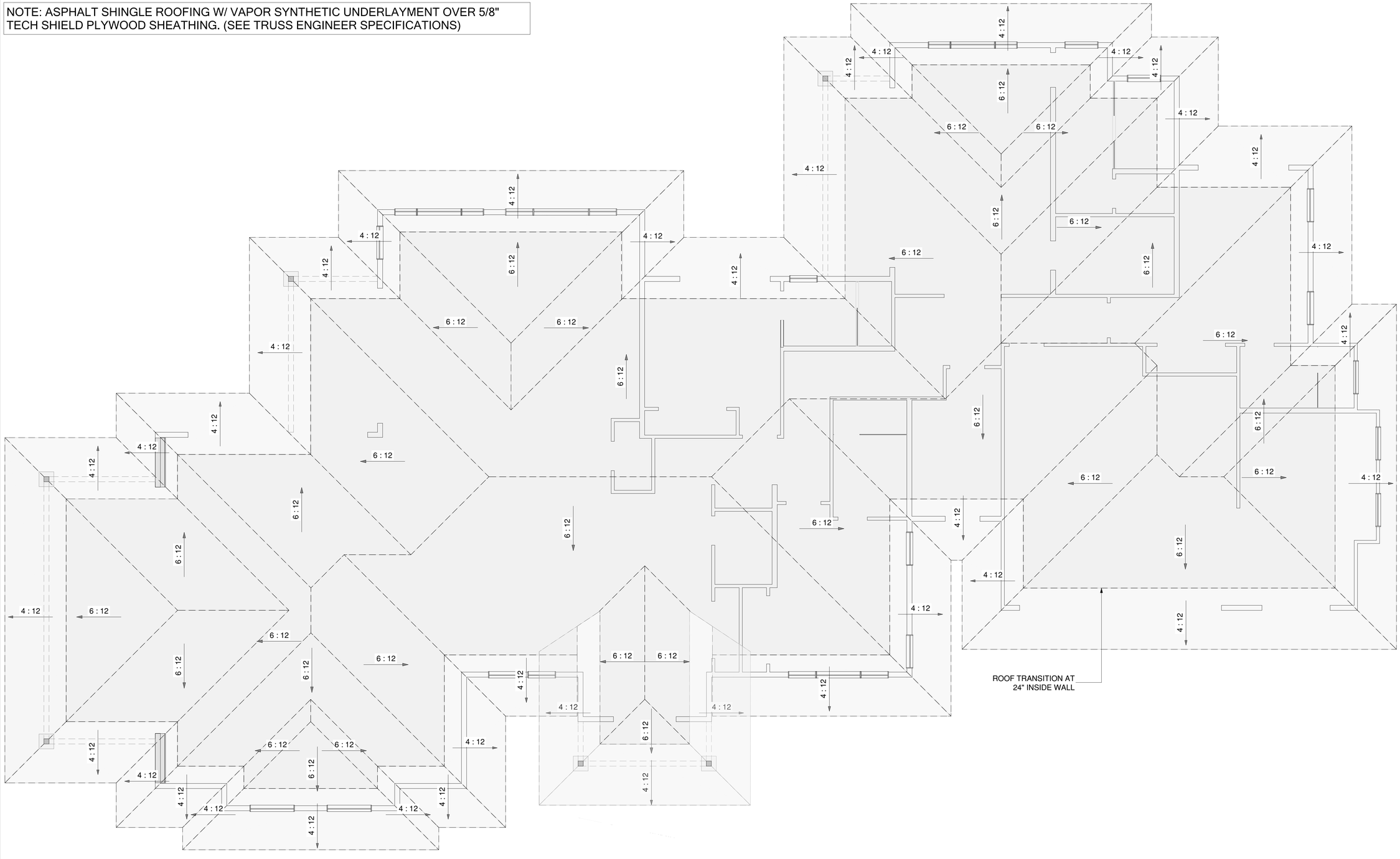
DATE: 9/10/2021

A05

SEE TRUSS MANUFACTURER DETAILS FOR ROOF FRAMING LAYOUT AND SPECIFICATIONS

NOTE: SIMPSON SDWC SCREWS IN ALL RAFTERS

NOTE: ASPHALT SHINGLE ROOFING W/ VAPOR SYNTHETIC UNDERLAYMENT OVER 5/8" TECH SHIELD PLYWOOD SHEATHING. (SEE TRUSS ENGINEER SPECIFICATIONS)



ROOF PLAN

SCALE: 1/4" = 1'-0"

N

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McCLINTOCK
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LOT 25
(2)-4-4-019:097

ROOF PLAN

DATE: 9/10/2021

A06

DOOR SCHEDULE (SEE MANUFACTURER FOR INSTRUCTIONS)

NUMBER	QTY	WIDTH	HEIGHT	THICKNESS	TOP	DESCRIPTION	TEMPERED	COMMENTS
D01	1	144 "	96 "	1 3/4"	96"	EXT. QUAD SLIDER-GLASS PANEL	YES	
D02	2	192 "	96 "	1 3/4"	96"	EXT. QUAD SLIDER-GLASS PANEL	YES	
D03	1	216 "	96 "	1 3/4"	96"	METAL GARAGE DOOR		
D04	1	264 "	102 "	1 3/4"	102"	EXT. 4+4-PANEL SLIDER-GLASS PANEL	YES	
D05	1	30 "	96 "	1 3/4"	96"	POCKET-PANEL		
D06	5	30 "	96 "	1 3/4"	96"	HINGED-PANEL		
D07	1	36 "	60 "	1 3/4"	60"	WOOD GATE		
D08	5	36 "	96 "	1 3/4"	96"	HINGED-PANEL		
D09	2	36 "	96 "	1 3/4"	96"	EXT. HINGED-PANEL		
D10	2	60 "	96 "	1 3/4"	96"	DOUBLE HINGED-PANEL		
D11	1	66 "	108 "	1 3/4"	108"	PIVOT DOOR	YES	
D12	1	72 "	96 "	1 3/4"	96"	METAL GARAGE DOOR		
D13	3	72 "	96 "	1 3/8"	96"	SLIDER-PANEL		
D14	2	96 "	96 "	1 3/4"	96"	EXT. SLIDER-GLASS PANEL	YES	

COUNTY OF MAUI USE ONLY

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LIC EXPIRES 4-30-22

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NO.	DESCRIPTION	DATE

McCLINTOCK
RESIDENCE
LOT 25
(2)-4-4-019:097

DOOR
SCHEDULE

DATE: 9/10/2021

A07

WINDOW SCHEDULE (SEE MANUFACTURER FOR INSTRUCTIONS)

NUMBER	QTY	SIZE	TOP	DESCRIPTION	EGRESS	TEMPERED	COMMENTS
W01	1	10046	96"	CASE/PICT/CASE (2'-6"/5'-0"/2'-6")			
W02	1	2620AW	96"	SINGLE AWNING		YES	
W03	2	2660FX	96"	FIXED GLASS		YES	
W04	6	3020AW	96"	SINGLE AWNING			
W05	1	3020AW	96"	SINGLE AWNING		YES	
W06	1	3040FX	96"	FIXED GLASS		YES	
W07	1	3040SC	96"	SINGLE CASEMENT-HR		YES	
W08	1	3050FX	96"	FIXED GLASS			
W09	2	4020AW	96"	SINGLE AWNING			
W10	1	9046	96"	CASE/PICT/CASE (2'-6"/4'-0"/2'-6")			
W11	2	8050	96"	CASE/PICT/CASE (2'-0"/4'-0"/2'-0")			

COUNTY OF MAUI USE ONLY

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LICENSED PROFESSIONAL ARCHITECT
NO. AR 6510
HAWAII, U.S.A.
LIC EXPIRES 4-30-22

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION

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NO.	DESCRIPTION	DATE

McCLINTOCK
RESIDENCE
LOT 25
(2)-4-4-019:097

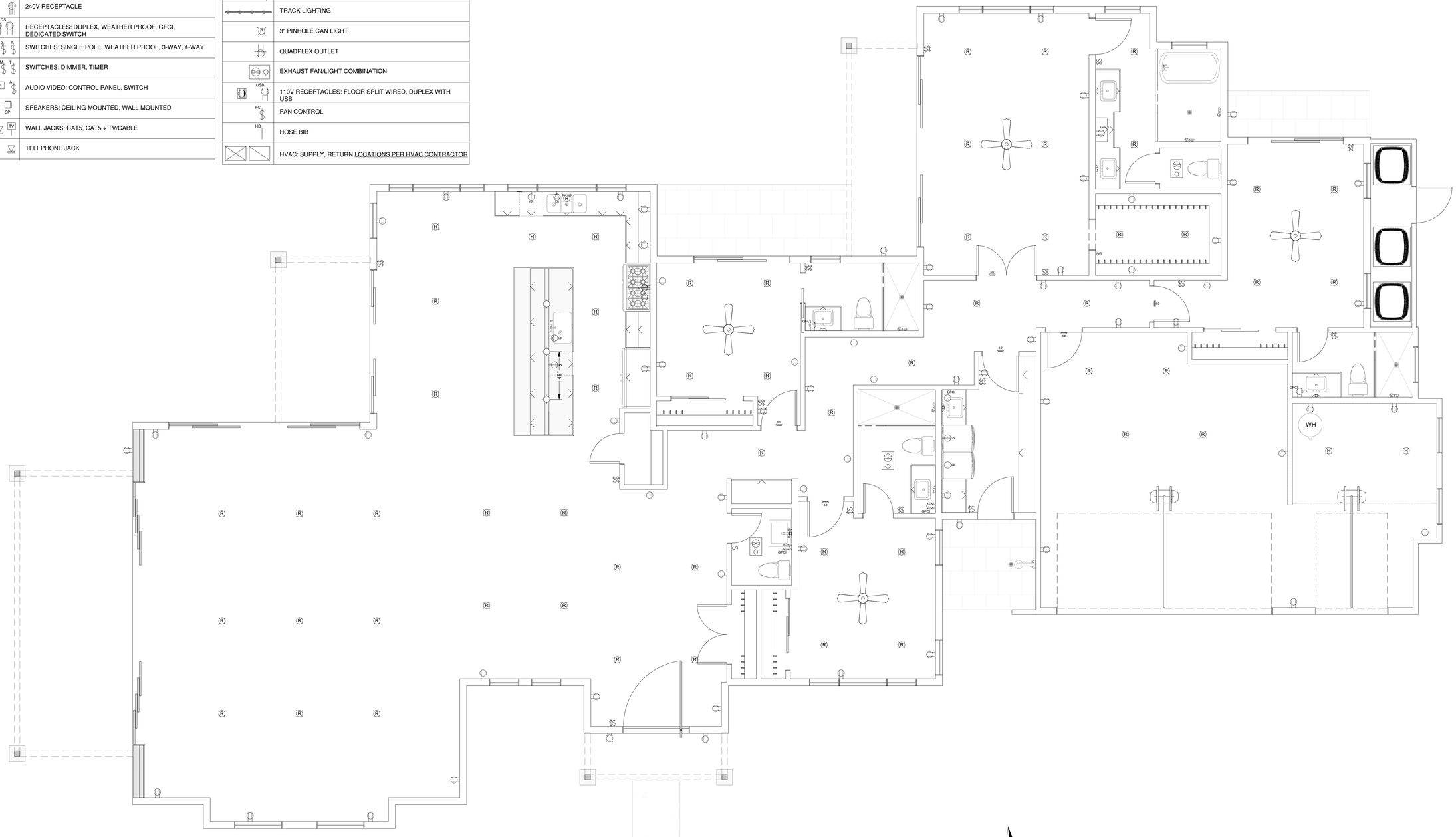
WINDOW
SCHEDULE

DATE: 9/10/2021

A08

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	
	CEILING FAN
	VENTILATION FANS: CEILING MOUNTED, WALL MOUNTED
	CEILING MOUNTED LIGHT FIXTURES: RECESSED, DIRECTIONAL, ADJUSTABLE APERTURE, WATER PROOF, SURFACE, PENDANT
	WALL MOUNTED LIGHT FIXTURES: FLUSH MOUNTED, WALL SCONCE
	CHANDELIER LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE
	240V RECEPTACLE
WP GFCI DS	RECEPTACLES: DUPLEX, WEATHER PROOF, GFCI, DEDICATED SWITCH
WP 3 4	SWITCHES: SINGLE POLE, WEATHER PROOF, 3-WAY, 4-WAY
DM T	SWITCHES: DIMMER, TIMER
AV CONTROL A	AUDIO VIDEO: CONTROL PANEL, SWITCH
SP SP SP	SPEAKERS: CEILING MOUNTED, WALL MOUNTED
CS CS/TV TV	WALL JACKS: CAT5, CAT5 + TV/CABLE
	TELEPHONE JACK

	INTERCOM
FC T	HEATER CONTROL, POOL CONTROL, THERMOSTAT
C	DOOR CHIME, DOOR BELL BUTTON
SD SD	SMOKE DETECTORS: CEILING MOUNTED, WALL MOUNTED
EP	ELECTRICAL BREAKER PANEL
GD	GARAGE DOOR OPENER
	LED STRIP LIGHT
	STRING LIGHTS
R CT	SPECIALTY OUTLETS: REFRIG, GARBAGE DISP, COOKTOP
	TRACK LIGHTING
	3" PINHOLE CAN LIGHT
	QUADPLEX OUTLET
	EXHAUST FAN/LIGHT COMBINATION
USB	110V RECEPTACLES: FLOOR SPLIT WIRED, DUPLEX WITH USB
FC	FAN CONTROL
HB	HOSE BIB
	HVAC: SUPPLY, RETURN LOCATIONS PER HVAC CONTRACTOR



ELECTRICAL & PLUMBING LAYOUT

SCALE: 1/4" = 1'-0"

N

COUNTY OF MAUI USE ONLY

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LIC EXPIRES 4-30-22

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NO.	DESCRIPTION	DATE

McCLINTOCK RESIDENCE
LOT 25
(2)-4-4-019:097

ELECTRICAL & PLUMBING LAYOUT

DATE: 9/10/2021

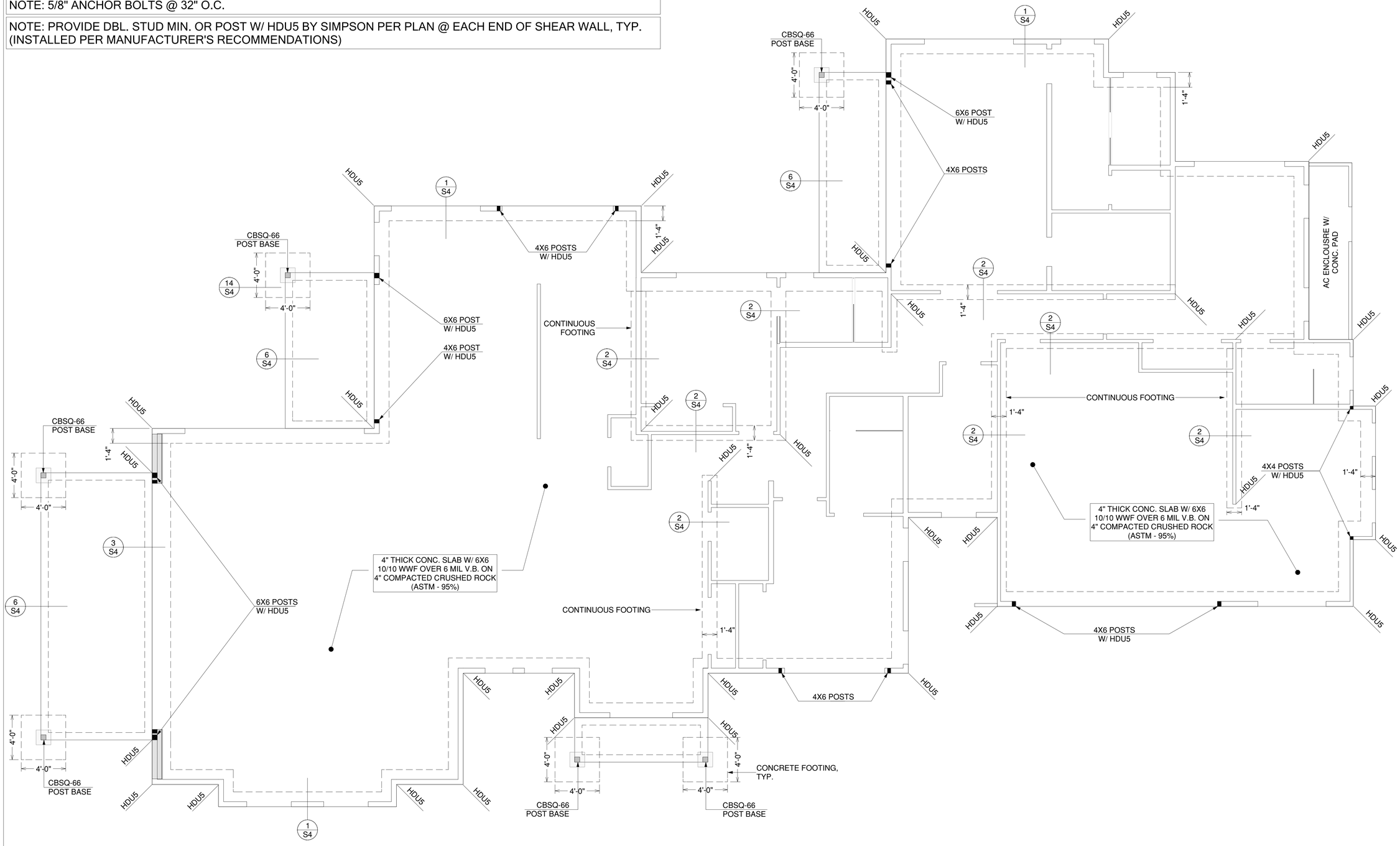
E01

NOTE: ALL SHEAR WALLS NAILED AT 6" @ PERIMETER AND 10" @ FIELD. UNLESS OTHERWISE SPECIFIED.

NOTE: SHEARWALL PER DETAIL 20/S05. HDU2 HOLDOWN (EXCEPT WHERE NOTED) PER DETAIL 21/S05 & 49/S05.

NOTE: 5/8" ANCHOR BOLTS @ 32" O.C.

NOTE: PROVIDE DBL. STUD MIN. OR POST W/ HDU5 BY SIMPSON PER PLAN @ EACH END OF SHEAR WALL, TYP. (INSTALLED PER MANUFACTURER'S RECOMMENDATIONS)



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

N

COUNTY OF MAUI USE ONLY

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NO. AR 854
HAWAII, U.S.A.
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NO.	DESCRIPTION	DATE

McCLINTOCK RESIDENCE
LOT 25
(2)-4-4-019:097

FOUNDATION PLAN

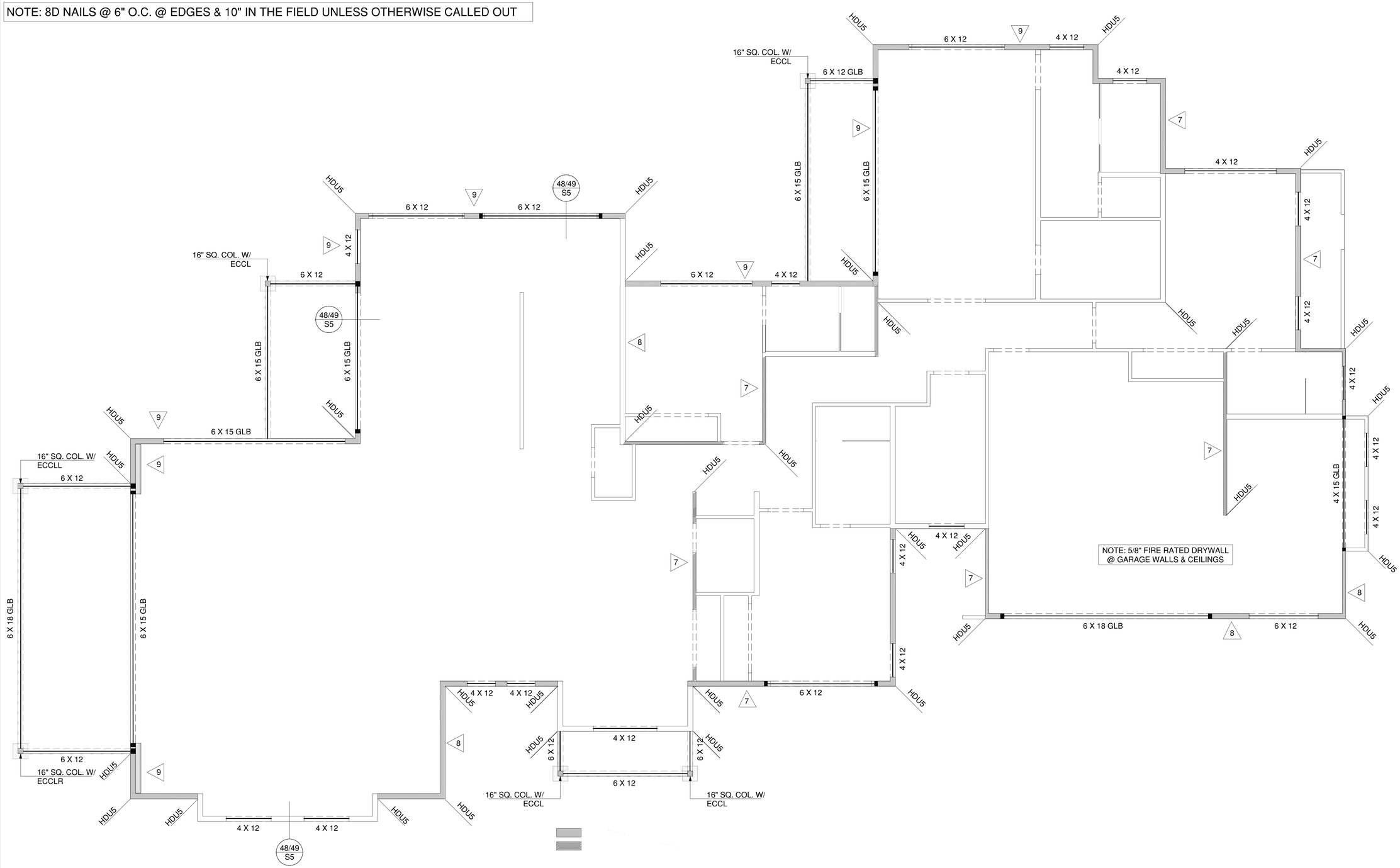
DATE: 9/10/2021

S01

NOTE: ALL SHEAR WALLS NAILED AT 6" @ PERIMETER AND 10" @ FIELD. UNLESS OTHERWISE SPECIFIED.

NOTE: SHEARWALL PER DETAIL 20/S05. HDU2 HOLDOWN (EXCEPT WHERE NOTED) PER DETAIL 21/S05 & 49/S05.

NOTE: 8D NAILS @ 6" O.C. @ EDGES & 10" IN THE FIELD UNLESS OTHERWISE CALLED OUT



FRAMING PLAN

SCALE: 1/4" = 1'-0"

N

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FRAMING PLAN

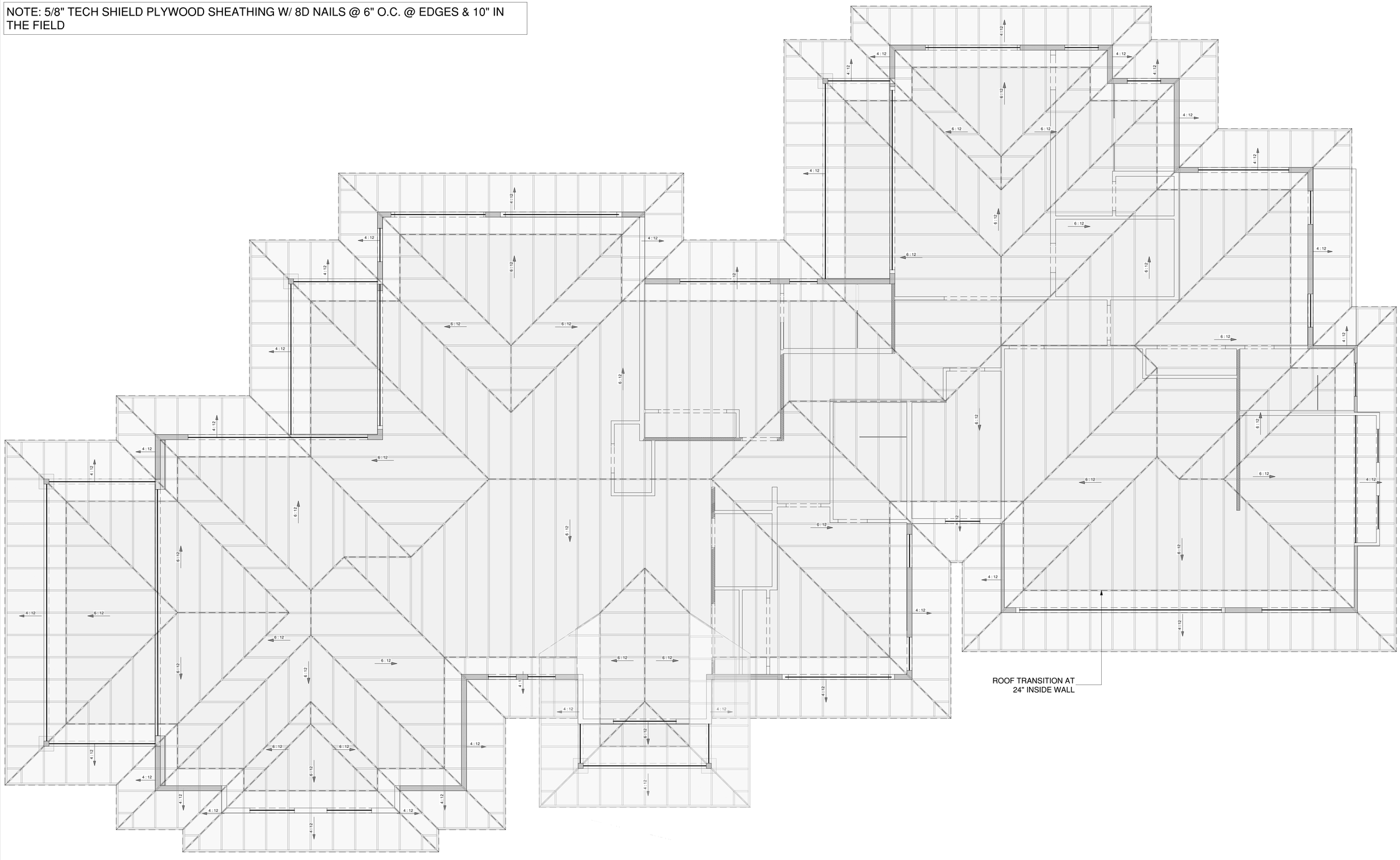
DATE: 9/10/2021

S02

SEE TRUSS MANUFACTURER DETAILS FOR ROOF FRAMING LAYOUT AND SPECIFICATIONS

NOTE: SIMPSON SDWC SCREWS IN ALL RAFTERS

NOTE: 5/8" TECH SHIELD PLYWOOD SHEATHING W/ 8D NAILS @ 6" O.C. @ EDGES & 10" IN THE FIELD



ROOF TRANSITION AT
24" INSIDE WALL

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

N

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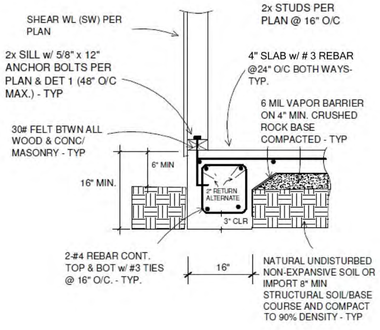
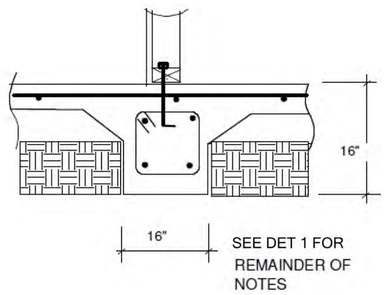
ROOF FRAMING PLAN

DATE: 9/10/2021

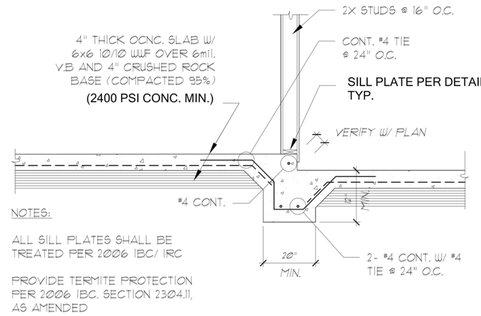
S03



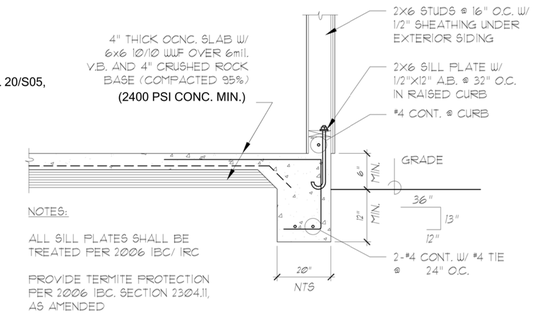
1 CONCRETE FTG. @ EXTERIOR WALL



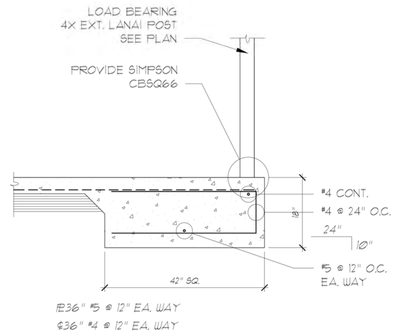
2 FTG. @ INT. LOAD BEARING WALL



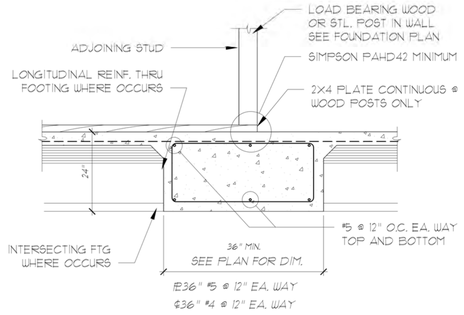
3 CONT. FOOTING @ DEPRESSED SLAB



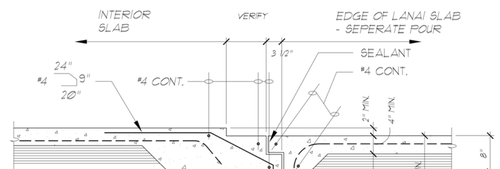
4 CURB FTG. @ EXTERIOR WALL



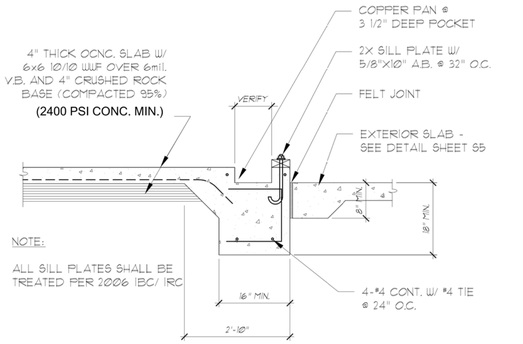
5 EXT. POST FOOTING



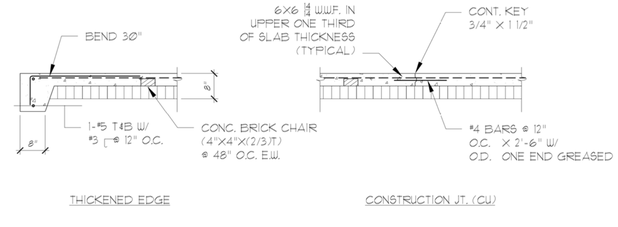
6 DROP FTG @ POST COND.



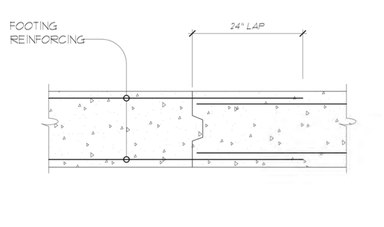
7 CONC. CURB @ "S.B. TRACK"



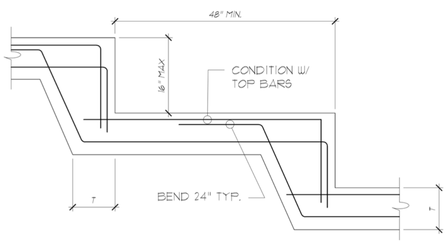
8 CONC. CURB @ "STACK-BACKS"



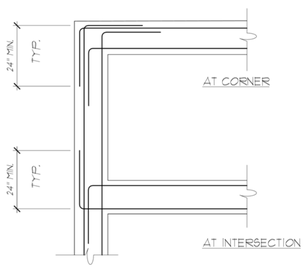
9 TYPICAL SLAB ON GRADE DETAILS



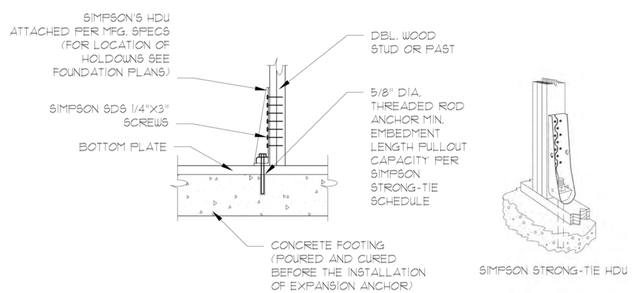
10 CONSTRUCTION DETAIL @ FTG



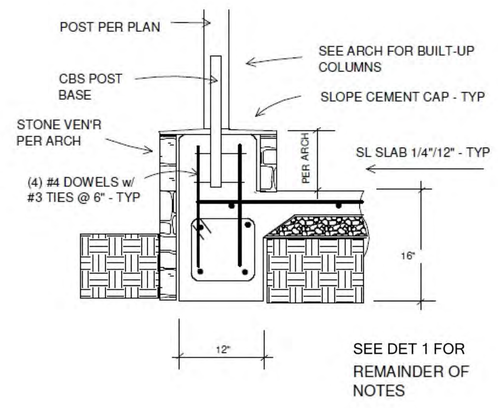
11 TYPICAL STEP FOOTING



12 TYP. FOOTING INTERSECTION DTL.



13 INTERIOR SIMPSON "PHD" DETAILS



14 EXTERIOR POST BASE, TYPICAL

FOUNDATION DETAILS
SCALE: N.T.S.

COUNTY OF MAUI USE ONLY

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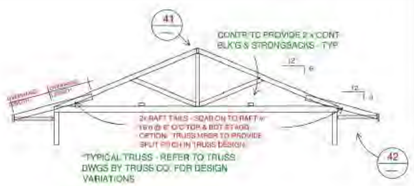
NO.	DESCRIPTION	DATE

McCLINTOCK RESIDENCE
LOT 25
(2)-4-4-019:097

FOUNDATION DETAILS

DATE: 9/10/2021

S04



*TYPICAL TRUSS - REFER TO TRUES DWGS BY TRUSS CO. FOR DESIGN VARIATIONS

*DESIGN LOADS

ALL LOADS BRACHED, EXCEPT WIND LOADS, ARE ALONG PROJECTED HORIZONTAL PLANE

A. DEAD LOAD: (INCLUDING THE WEIGHT OF THE TRUSS)

L. ROOFING = SLATE = 10 PSF

B. CEILING = 5/8" GWB = 3 PSF

B. LIVE LOADS

1. ROOF

ROOF = 20 PSF

LIVE = 20 PSF

C. WIND LOADS

1. ANY DIRECTION = 20 PSF

*LOAD COMBINATIONS FOR DESIGN

EACH COMPONENT AND CONNECTION OF TRUSSES SHALL BE DESIGNED FOR THE MOST SEVERE OF THE FOLLOWING LOAD COMBINATIONS:

1. DEAD + LIVE LOAD W/ L.O.F. = 1.0
2. DEAD + LIVE LOAD W/ L.O.F. = 1.25
3. DEAD + WIND LOAD W/ L.O.F. = 1.0
4. DEAD + LIVE LOAD(N) HALF WIND W/ L.O.F. = 1.25

*DESIGN CRITERIA

1. DESIGN IN GENERAL SHALL CONFORM TO THE REQUIREMENTS OF THE 2006 IBC.
2. TRUSS CONNECTION PLATES SHALL HAVE APPROVAL FROM ICBO
3. DESIGN OF TRUSS MEMBERS AND CONNECTIONS, CONSTRUCTION AND ERECTION OF TRUSSES SHALL COMPLY WITH ALL APPLICABLE STANDARDS DEVELOPED BY THE TRUSS PLATE INSTITUTE.
4. TRUSSES ARE TYPICALLY SPACED AT 2'-0" O/C U.N.O.
5. FOLLOWING SHALL BE THE MIN. SIZE OF ROOF TRUSS MEMBERS:

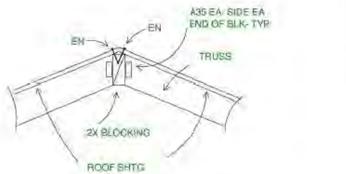
TOP CHORDS ..... 2x6 MIN. No. 1 DSTR
BOTTOM CHORDS ..... 2x4 MIN. No. 1 DSTR
WEB MEMBERS ..... 2x4 MIN. No. 1 DSTR

*NOTES:

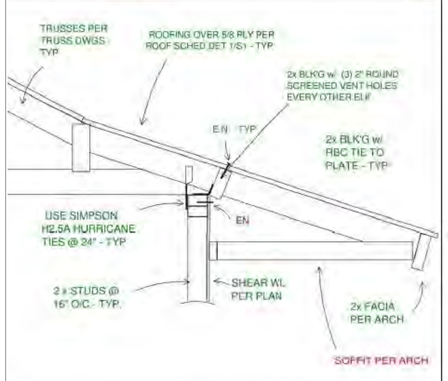
TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS OF THE TRUSSES TO THE ARCHITECT/ ENGINEER FOR HIS APPROVAL AND TO THE BUILDING DEPARTMENT PRIOR TO FABRICATION.
BY SIGNING THESE PLANS, I INQUIRE EVALUATION VERIFYING THE STRUCTURAL ADEQUACY OF THE TRUSSES, WITH IC.B.O. REPORT NO. FOR THE TRUSS CONNECTION PLATES.
TRUSS MANUFACTURER SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE PRIOR TO FABRICATION OF THE TRUSSES.

TRUSSES SHALL BE KEPT DRY AT ALL TIMES, STACKED VERTICALLY AND HOISTED ONTO THE ROOF WITH ATTACHMENTS AT THE JOINTS.

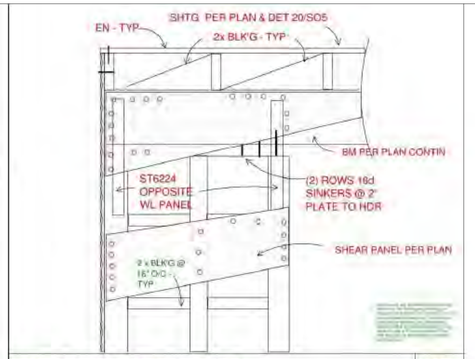
TRUSS DETAILS 40



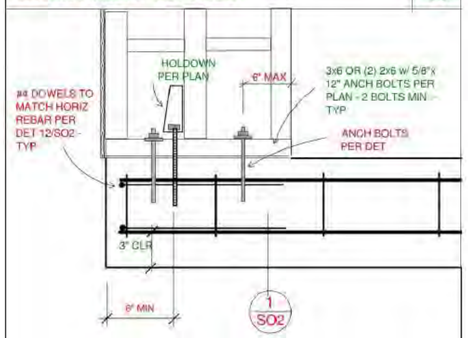
TRUSS RIDGE 41



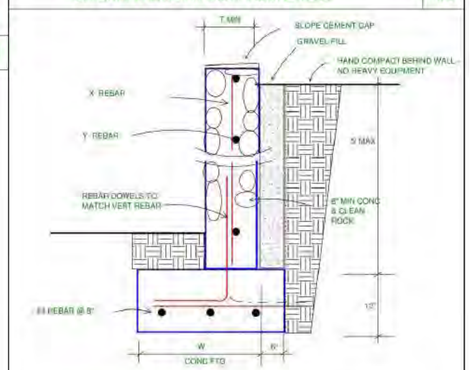
ROOF OVERHANG - PITCH PER DET 40 42



SHEAR WALL AT TOP ENDS 48



SHEAR WALL AT BOTTOM ENDS 49



RETAINING WL SECTION - NO SURCHARGE

H	T	W	'X' REBAR	'Y' REBAR
3'	18"	2.0'	#4 @ 16	#4 @ 24
4'	12"	1.5'	#4 @ 24	#4 @ 24
2' & 3'	12"	1.0'	#3 @ 24	#3 @ 24

RETAIN'G WL REBAR SCHEDULE

SHEAR WALLS (SW) SCHEDULE & VALUES

1. 5/8"gypsum wallboard with 6d cooler nails or #8 screws at 7" o/c edges (EN) and 12" on center field (F.S.) nailing. Provide 5/8" X 12"anchor bolts*** at 48" o/c at sill plates on concrete*.....100#/ft
2. 3/8 CDX Panel Siding with 8d** @ 6" o/c edges and 12" o/c field. Provide 5/8"x 12" anchor bolts*** @ 32" o/c sill plates.....260#/ft.
3. 3/8" CDX Panel Siding with 8d** @ 4" o/c edges and 12" on center field. Provide 5/8"x 12" anchor bolts*** @ 24" o/c on 3 x sill plates*.....380#/ft.
4. 3/8" CDX Panel Siding with 8d** @ 3" o/c edges and 12" o/c field. Provide 5/8" x 12" anchor bolts*** @ 16" o/c on 3 x sill plates*.....490#/ft.

ROOF SHEATHING (RS)

1. 5/8" CDX plywd TEX SHIELD sheathing with 8d @ 6" o/c edges and 12" field.....240#/ft.

* (2) 2x PLATES MAY BE USED IN LIEU OF A 3x PLATE WITH 12d @ 12"O/C
** #8 x NAIL LENGTH SCREWS MAY BE USED IN LIEU OF NAILS
*** SIMPSON ET EPOXIED BOLTS MAY BE USED PER SCHEDULE BELOW

ALL STUDS ARE 16" O/C. PLYWOOD PANELS ARE APPLIED EITHER VERTICAL OR HORIZONTAL DIRECTLY TO STUDS WITH 1/8" SPACE BETWEEN PANELS. APPLY 2x SOLID BLOCKING AT ALL EDGES.

SW = SHEAR WALL
RS = ROOF SHEAR
EN = EDGE NAILING
FN = FIELD NAILING
BN = BOUNDARY NAILING
EW = ENTIRE WALL
BS = BOTH SIDES

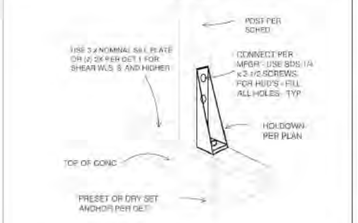
NOTE: ALL ANCHOR BOLTS SHALL HAVE 3"x3"x7/32" PLATE WASHERS AT ALL SHEAR WALLS. USE 2"x2"x3/16" ELSEWHERE

ALL ROOF AND FLOOR SHEATHING SHALL BE LAID PERPENDICULAR TO FRAMING WITH STAGGERED PANEL JOINTS. NAIL AND/OR SCREW HEADS SHALL BE FLUSH WITH THE PLYWOOD TOP SKIN AND NOT COUNTERSUNK BELOW THE TOP SKIN. ET BOLTS MAY BE USED IN LIEU OF PRESET ANCHOR BOLTS WITH BP WASHERS PER DET 1/2

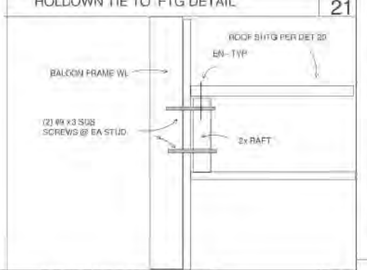
'DIA.	DRILL BIT	EMBED.	ALLOW	HOLDOWN
1/2"	5/8"	4-1/4"	3.1k	HD3B OR HDU2
5/8"	3/4"	5"	4.9k	HD5B OR HDU4

DRYSET ANCH BOLTS & EPOXY IN CONCRETE

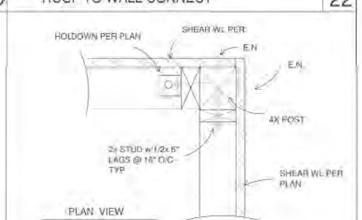
SHEAR WLS & ANCHOR BOLT SCHEDULE 20



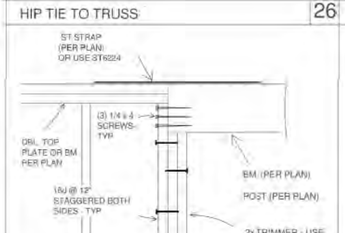
HOLDOWN TIE TO FTG DETAIL 21



ROOF TO WALL CONNECT 22



HOLDOWN AT INTERSECTING WLS 23



FLUSH BM TIE TO WALL 27

HIP TIE TO TRUSS 26

STRUCTURAL SPECS & GENERAL NOTES

STRUCTURAL LUMBER
All framing lumber, unless noted otherwise on plans, shall be Douglas Fir Coast Region and treated as approved by the American Wood Preservers' Association. All lumber shall be grade marked and conform with the grading and dressing rules of the West Coast Lumber Inspection Bureau. Provide 30# felt between all wood and concrete or masonry. All studs shall be Stud Grade or better, all rafters and joists shall be No. 1 or better, all 4x beams and posts shall be Select Grade with no splits or loose knots or knots larger than 1/6 of the member depth. All exposed lumber shall be sanded and all marks/stains removed before erection. Prior to erection, all finish wood shall be primed with an oil base all sides and edges. All members shall be straight level and plumb. All crowns shall be up except for cantilevers. If the Gen. Con. has difficulty rough framing exactly as shown on the plans, he shall contact the Architect immediately to resolve the problem. If the Gen. Con. fails to contact the Architect, the Gen. Con. will take responsibility for his neglect. There shall be no cutting or drilling of structural lumber without approval of the Architect. All backing, nailers, blocking, etc. shall be installed to allow for proper application of finish materials, hardware, and/or fixtures. Provide double joists or solid blocking under all bearing and structural walls and holdowns. All nails/screws shall penetrate the wood fully. Where protruding nail/screws are exposed (shiners) they shall be punched back or cut off and holes shall be filled and wood repaired. Built-up 2x beams shall have 1/2" filler and 16d at 12" o/c 2" from top and bottom staggered. 4x and larger beams shall have 1/2" machine bolts (MB) at 16" o/c and staggered 2" from top and bottom. Use galvanized finish for all fasteners unless noted otherwise on the plans.

STRUCTURAL PLYWOOD
Structural plywood shall be CD, grade marked by DPA, TECO or PLT and shall conform to PS 1-83. All plywood sheets shall be stored flat and level and kept dry at all times. If plywood is exposed to rain, the Gen. Con. shall remove all water and dry the wood as soon as possible. All damaged plywood sheets will be replaced by the Gen. Con. at his expense. Plywood sheets shall be laid in accordance with the shear schedule, all edges staggered with a 5/8" minimum bearing and 1/8" space between panels. The minimum sheet size shall be not less than 24" X 48". Nail and screw heads shall be flush and not puncture plywood skins.

GLU-LAMINATED BEAMS,MICROLLAMS, LVL PARALLAMS & PREENGINEERED MEMBERS.
Engineered Laminated beams on the plans and shall be fabricated by a member of AITC. Upon completion of fabrication, the manufacturer shall furnish the Owner and Architect/Engineer with a AITC Certificate. All lumber shall be kiln-dried Douglas-Hem Fir and shall conform to a minimum Combination 24F-V4, Fv=165 psi and E=1,800,000 with a radius of 3500 ft. (1/64" camber per foot). All glue shall be exterior and fabrication shall conform to the Voluntary Product Standard PS 56-83. All material shall be wrapped and protected until installation and kept dry at all times. The Gen. Con. shall verify these specifications prior to installation. All exposed members shall be stained or primed and painted. Prior to ordering TJI's or other preengineered joists, the manufacturer shall check sizes and spacing on the plans submitted by the Owner or Gen. Con. and make the necessary changes, if required, and send the Owner and Architect a letter of approval. All multiple Microlams shall be connected together per Manufacter's Specifications.

METAL CONNECTORS
Unless noted otherwise (UNO) on the plans, all posts to beams & beams bearing on beams shall have a ACX MAX both sides; all posts over posts shall have a MSTC 28 minimum both sides with 8" minimum length to each post; all beams to posts shall have a 1212T supporting one story and a 1616HT supporting two stories; use a 1616HT; all flush framing shall have a U joist hanger for 2x, ITS for TJI and HUCQ for 4x and larger (size to be as specified in the SIMPSON catalog for member size - typical for all connectors); all breaks in beams and shear walls shall have a STG224 tie strap to connecting beams or 2x blocking; all rafters to rafters and joists to joists shall have a LSTA24 tie at 48" o/c maximum. All rafters and/or trusses shall have a H2.5A at 24" o/c on all bearing walls. Use H1S at girder truss ends to walls. Use HTT22 holdowns with Hilti 3/4" x 6-5/8" C-10 anchor or approved equal at concrete slabs and a CS16 x 12" minimum ea nailing end vertical holdown at exterior wall wood floors corners and at 48" o/c. All metal connector nails shall be 10d x 1-1/2" and all screws shall be #8 x 1-1/2" and all holes filled and all fasteners shall be corrosive resistant with G185 minimum. All non-bearing interior wall sills over concrete shall be attached with 1/4"x 3" power actuated pins with 1-1/2 x 14 gauge washers. Pins shall be spaced at 24" maximum on center staggered 1-1/2" from edges and no less than (2) pins per sill piece.

GRADING
All grading work shall conform to the City, County, State Codes and the recommendations of the soils engineer. No work shall commence until the Dept. of Public Works (DPW) approves a grading permit unless none is required. The contractor shall remove all silt and debris deposited in drainage facilities, roadways and other areas resulting from his work. The costs incurred for any necessary remedial action by the DPW shall be payable by the Contractor. The Contractor, at his own expense, shall keep the Project and surrounding areas free from dust & nuisances. The work shall be in conformance with the Air Pollution Control rules of the State of Health Fugitive Dust. All grading operations shall be performed in conformance with the applicable provisions of the City, County, Water Pollution Control and Water Quality Standards and to the Erosion and Sedimentation Control Standards and Guidelines of the Dept. of Public Works. The Contractor shall sod or plant all slopes and exposed areas immediately after the grading work has been completed. Fills on slopes steeper than 5:1 shall be keyed. The Contractor shall inform the DPW of the location of the disposal and/or borrow sites required for this Project when an application for a grading permit is made. The disposal and/or borrow sites must also fulfill the requirements of the grading ordinance. No grading work shall be done on Saturdays, Sundays, and holidays anytime without prior approval from the DPW. Grading work on normal working days shall be between the hours of 7:00 a.m. to 3:30 p.m. Fills shall be compacted to 90 percent (90%) of maximum density per ASTM D-1557 test. The Gen. Con. shall remove all vegetation before placing fills on natural ground surface. The Client and Gen. Contractor shall notify the Owner that a Soils and/or Geological Engineer shall provide a report of the soils condition prior to any work. Should the Owner select not to have a Soils Engineer report, then the Owner will assume all responsibility for any structural failure as a result of soil and/or geological failure.

SOIL PREPARATION
Soil shall be treated by a reliable and licensed firm thoroughly familiar with local soil, soil life and chemicals.
The entire area enclosed by footing shall be treated with an approved aqueous solution in accordance with the label and provisions related to the use of those pesticides as adopted by the Federal Insecticide, Fungicide, and Rodenticide Act. The Contractor shall provide the Owner with a minimum warranty of not less than ten (10) years.

TRENCHING & FORMING
Prior to trenching, Contractor shall mark building layout and obtain Owner's and Architect's approval. All excavations shall be in accordance with the drawings and specifications. Use S4S form lumber braced and secured so that no movement will occur during concrete pouring. Prior to pouring, all loose earth, water and debris shall be removed from the foundation bed. Bottom and sides of trenches shall be square, plumb and firm. Bottom of all footings shall have a bearing value of at least 2000 pounds per square foot and shall have no expansive soil and shall have good percolation. The Gen. Con. shall provide for de-watering of all excavations from either surface water or seepage. Forms shall be coated with a non-staining oil before concrete is placed. It is the responsibility of the Owner to assure that no off-site water drains onto the property. All property water shall drain off the site to the street or dispersing area via a non-erosive device. All metal pipes embedded in concrete shall be tightly wrapped with 30# felt or provide ABS sleeves.

CONCRETE
Unless noted otherwise on the drawings, all slab on grade shall be 4" thick and reinforced with No. 4 rebar spaced at 24" on center (o/c) both ways and placed in the center of the slab and poured over a 6 mil polyurethane membrane and over a 4" minimum compacted smooth crushed rock base. Reinforcing steel (rebar) shall be intermediate grade deformed billet steel ASTM A615, Grade 40 for No. 5 and smaller rebar and Grade 60 for No. 6 and larger rebar. Splices shall be a minimum of 30 bar diameters and securely wired together. Splices of adjacent bars shall be staggered wherever possible.

Unless noted otherwise (UNO) All building footings shall have a minimum of 2-No. 4 rebar continuous near the bottom with 3" clear to the soil and 2-No. 4 at the top. Provide No. 3 ties at 16" o/c, hook around rebar and return 2" minimum. For double pour, provide No. 3 dowels at 24" o/c per details. Unless noted otherwise, all concrete shall be machine mixed with a maximum of 7.5 gallons of water per sack of cement and shall reach a minimum strength of 2400 psi in 28 days. Cement shall be Type 2, low alkali, ASTM C-150. Aggregate shall be a maximum of 1" ASTM C-33 and maximum slump shall be 5". Concrete 2500 psi and higher shall have 3/4" maximum aggregate and shall be inspected during pour by a County Special Inspector. Location of sleeves for pipes and pipes intended to be cast in concrete for which no specific details are shown shall be subject to the approval of the Architect/Engineer. No gas or water lines shall be embedded in or under concrete slabs. All wood and steel shall have 30# felt separation between it and concrete and/or masonry.

STRUCTURAL SPECIFICATIONS/NOTES

RESPONSIBILITY AND LIABILITY
Architects Studio, hereinafter called Architect, and their consultants do not warrant or guarantee the accuracy and completeness of the work herein beyond a reasonable diligence. If any omissions, mistakes, or discrepancies are found to exist within the work project, the Architect shall be promptly notified by the Client before the issuance of a building permit, so that the Architect may have the opportunity to take whatever steps necessary to resolve them. Do not scale drawings, but refer to the written dimensions. The Architect's mandatory field observation takes precedence over the approved structural plans. The Architect's certification is null and void after two (2) years from the certification of the plans. It is the Client's and General Contractor's (Gen. Con.) responsibility to contact the Architect for construction observations in accordance with the Mandatory Observation Schedule as shown on this sheet. It is the Client's and Gen. Con. responsibility to interpret all drawings, specifications, procedures and administration of the construction documents. All contractors shall be licensed and insured. Should the Owner select to act as Owner-Builder, then the Owner will assume responsibility for the project unless the Owner hires the Architect to supervise the construction under a separate contract. All work shall conform to all codes having jurisdiction and local zoning regulations. It is the Gen. Con. responsibility to verify all County and State regulations, local jurisdictions, dimensions, soils/geological and site conditions prior to start of any work and call the County for all required inspections. The Gen. Con. shall furnish all labor, materials, equipment, tools, supplies, transportation and services required to complete all of the work in accordance with the approved drawings and specifications and in an efficient and timely manner. The Gen. Con. shall supervise and direct the work using his best skills and attention and be solely responsible for all construction means, methods, techniques, sequences and procedures. All work and materials shall be in strict accordance with the standard specifications of materials and applications as approved by the Owner and Architect. All Contractors shall obtain and pay for all permits, licenses, insurances and fees required by the governing agencies except for the general building permit and plan check fee which will be paid for by the Owner.
The Gen. Con. is responsible for and installing of all required temporary bracing, shoring and barricades to insure the safety of everyone and to insure that all applicable safety laws are strictly enforced until the occupancy permit is obtained. The Gen. Con. shall protect all work and materials until completion and any loss or damage to any of these will be replaced at his expense. If the Gen. Con. is uncertain or cannot find details and/or instructions as to the construction of any element in any part of the construction documents, and takes it upon himself to add and construct any portion of the construction not found in the construction documents, then he is solely and completely responsible for that construction he provides. After the Owner takes occupancy of the structure, he/she take responsibility to maintain the Project from damages caused by water, mold, rust, wind, insects, age or any other deleterious effect for the life of the Project.

RAINFALL -
No additional rainfall runoff generated by the Project shall be disposed of onto county roadways or adjacent properties.
BUILDING WRAP & FLASHING -
Prior to covering the exterior, the entire building shall be covered with an approved building wrap.
All sheet metal shall be a minimum of 24 gauge galvanized iron. The center of flashing for any vent pipe, electrical service, etc. shall be not less than 12" from center of valleys, ridges or hips. Flash all exterior opening with approved building paper to extend at least 4" under the building wrap.
DRAFT STOPS -
Fire and Draft stops shall be in accordance with Hawaii County Code & 2006 IBC.
FIRE ESCAPES -
Sleeping rooms shall have openable escapable windows of a minimum of 5.7 square feet, 20" clear wide and 24" high and the sill shall be a maximum of 44" above the floor.
GLASS -
All glass shower stalls/doors, tub enclosures, glass doors and glass next to doors and within 18" of the floor and within 24" of doors shall be shatterproof. All other glass windows less than 24" square feet shall be 3/16" thick float glass "13" grade, 25-40 square feet shall be 1/4" plate glass. Use double glazing where air conditioning is used. Mirrors shall be 1/4 copper baked and edges ground smooth and polished.
SMOKE DETECTORS -
Install a smoke detector in each sleeping room and each corridor near sleeping areas. The detectors shall be electric with battery back up.
ATTIC VENTILATION -
Net free attic ventilation area to be a minimum of 1/150 of the area ventilated with 1/2 of the requirement at the lower area at the eaves and 1/2 of the requirement at the upper area near the ridge. The area may be 1/300 of the area of the space ventilated provided a vapor retarder having a transmission rate not exceeding 1 perm is installed on the warm side of the attic insulation.
WATER HEATER -
Water heaters shall have seismic strapping top and bottom if located in garage, install on a 18" high platform. Provide an aluminum drip pan with a copper drain pipe to outside. Fuel-Fired water heaters are not permitted in bathrooms, clothes closets or bedrooms. Maximum distance of hot water pipe runs shall not exceed 40 feet without a circulating pump.

Joist to sill or girder, toenail	3-10d*
Bridging to joist, toenail each end	2-10d
Sole plate to joist or blocking, face nail	16d at 16" o/c
Top plate to stud, end nail	2-16d
Stud to sole plate	2-16d end nail
Double studs, face nail	16d at 24" o/c
Double top plates, face nail	16d at 16" o/c
Ceiling joists to plate, toenail	3-10d
Continuous header to stud, toenail	4-10d
Ceiling joists, laps over partitions, face nail	3-16d
Rafter to plate, toenail	3-10d
1" brace to each stud and plate, face nail	2-8d
Built-up corner studs	16d at 24" o/c

* #8 SCREWS x SAME LENGTH AS 10D NAILS, and #8 x SAME LENGTH AS 12D & 16D NAILS MAY BE USED IN LIEU OF NAILS. ALL NAILS & SCREWS ARE HOT DIPPED GALVANIZED G185 OR APPROVED EQUAL. WHERE NAILS/SCREWS WILL PROTRUDE, USE SHORTER ONES BUT WITH THE SAME GAUGE. ALL DRIVERS SHALL BE REMOVED & REPLACED WITH PROPER NAILING.

MINIMUM NAILING/SCREWING SCHEDULE

The Client shall contact the Architect/Engineer for the following Construction Observations. Failure to contact and pay the Architect/Engineer 48 hours minimum prior to the observation will absolve him from any responsibility for the Project

Remarks	Authorized Signature	Date
FOOTING		
Bed		
Steel		
Placement		
FRAMING		
Walls		
Roof		
Floor		
Load Paths		
Shear Walls		
Holdowns		
OTHER		

CODES
2006 IBC
ASCE 68-7
COUNTY OF MAUI
LATERAL FORCES:
SEISMIC
TYPE OF CONST: V-B
OCCUP: R-3
OCCUP FACTOR: 1
IMPORT FACTOR: 1
SOIL SITE CLASS: D
WIND
BASIC WIND SPEED: 105MPH
EFF WIND SPEED: 110MPH
WIND EXPOS: C
Kzt TOPO FACT: 1.0
IMPORT FACT: 1.0
Kd: 0.85
MEAN ROOF HT: 19 FT

COUNTY OF MAUI USE ONLY

MAX C. ONICHAK
LICENSED PROFESSIONAL ARCHITECT
NO. AR 8547
HAWAII, U.S.A.
LIC EXPIRES 4-30-22
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION

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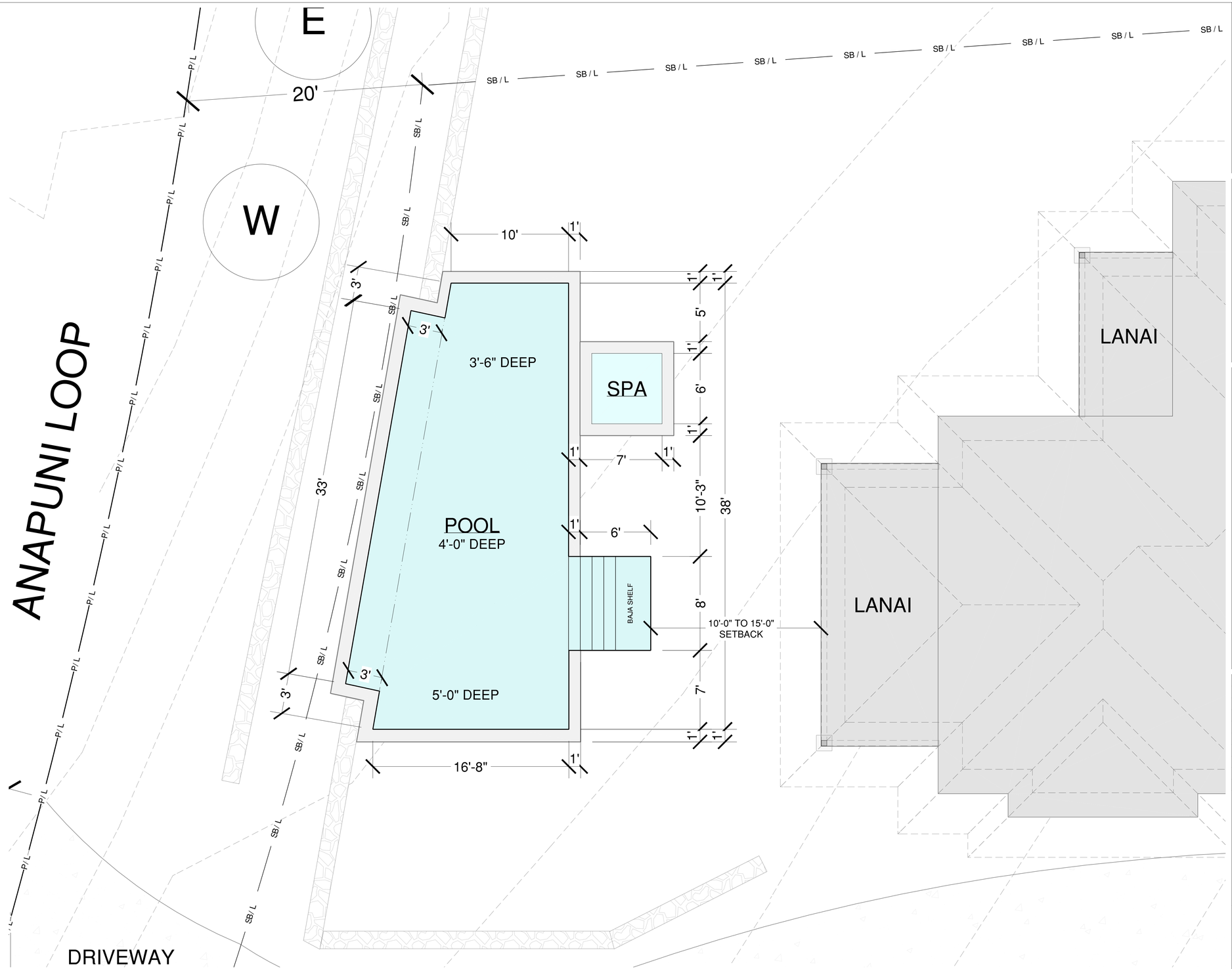
NO.	DESCRIPTION	DATE

McCLINTOCK RESIDENCE
LOT 25
(2)-4-4-019:097

STRUCTURAL DETAILS

DATE: 9/10/2021

S05



POOL PLAN

SCALE: 1/4" = 1'-0"

N

COUNTY OF MAUI USE ONLY

MAX C. ONICHAK
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LIC EXPIRES 4-30-22

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NO.	DESCRIPTION	DATE

McCLINTOCK
RESIDENCE
LOT 25
(2)-4-4-019:097

POOL PLAN

DATE: 9/10/2021

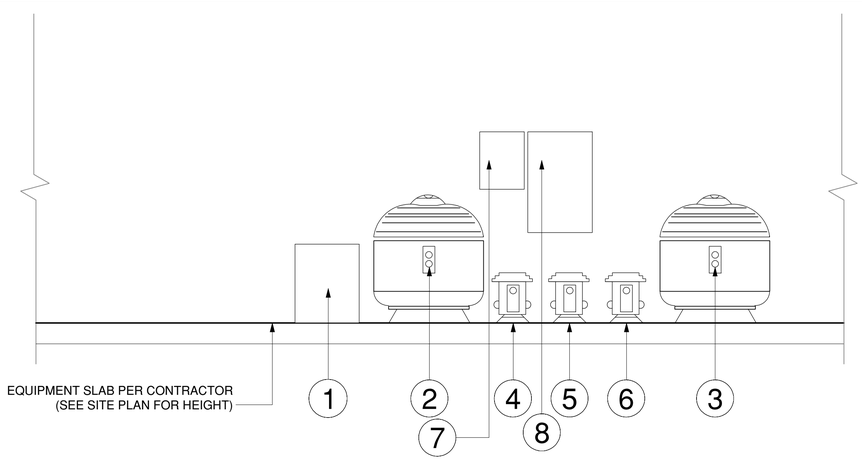
W01

POOL EQUIPMENT SCHEDULE

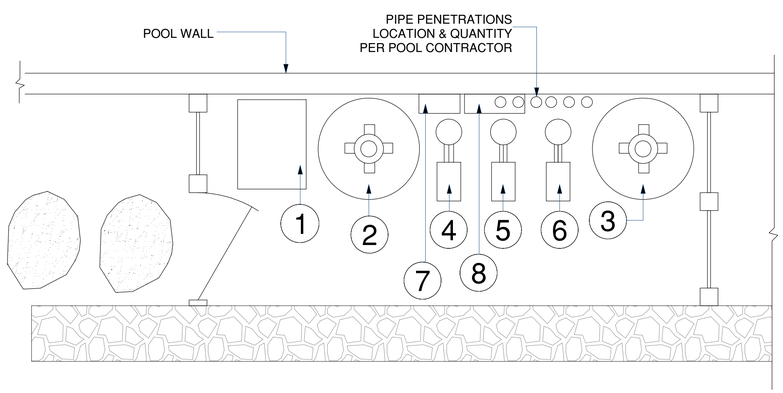
1. POOL / SPA HEATER
2. POOL FILTER
3. SPA FILTER
4. POOL PUMP
5. SPA PUMP
6. INFINITY EDGE PUMP
7. PENTAIR POOL PANEL
8. ELECTRIC SUB PANEL

NOTE: SEE STRUCTURAL SHEETS FOR ALL STRUCTURAL INFORMATION. POOL CONTRACTOR IS RESPONSIBLE TO FOLLOW ALL LOCAL GOVERNING CODES & BEST POOL BUILD PRACTICES.

NOTE: FINAL POOL EQUIPMENT LAYOUT PER POOL CONTRACTOR. LAYOUT BELOW FOR SPACE PLANNING PURPOSES ONLY.



01 POOL EQUIPMENT ELEVATION



02 POOL EQUIPMENT PLAN

COUNTY OF MAUI USE ONLY

MAX C. ONICHAK
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LIC EXPIRES 4-30-22

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION

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NO.	DESCRIPTION	DATE

McCLINTOCK
RESIDENCE
LOT 25
(2)-4-4-019:097

POOL EQUIPMENT PLAN

DATE: 9/10/2021

W02

SECTION 3109
SWIMMING POOL ENCLOSURES AND SAFETY DEVICES

3109.1 GENERAL. SWIMMING POOLS SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND OTHER APPLICABLE SECTIONS OF THIS CODE.

3109.2 DEFINITION. THE FOLLOWING WORD AND TERM SHALL, FOR THE PURPOSES OF THIS SECTION AND AS USED ELSEWHERE IN THIS CODE, HAVE THE MEANING SHOWN HEREIN.
SWIMMINGPOOLS. ANY STRUCTURE INTENDED FOR SWIMMING, RECREATIONAL BATHING OR WADING THAT CONTAINS WATER OVER 24 INCHES (610 MM) DEEP. THIS INCLUDES IN-GROUND, ABOVE-GROUND AND ON-GROUND POOLS; HOT TUBS; SPAS AND FIXED-IN-PLACE WADING POOLS.

3109.3 PUBLIC SWIMMING POOLS. PUBLIC SWIMMING POOLS SHALL BE COMPLETELY ENCLOSED BY A FENCE AT LEAST 4 FEET (1290 MM) IN HEIGHT OR A SCREEN ENCLOSURE. OPENINGS IN THE FENCE SHALL NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE. THE FENCE OR SCREEN ENCLOSURE SHALL BE EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING GATES.

3109.4 RESIDENTIAL SWIMMING POOLS. RESIDENTIAL SWIMMING POOLS SHALL COMPLY WITH SECTIONS 3109.4.1 THROUGH 3109.4.3.

EXCEPTION: A SWIMMING POOL WITH A POWER SAFETY COVER OR A SPA WITH A SAFETY COVER COMPLYING WITH ASTM F 1346.

3109.4.1 BARRIER HEIGHT AND CLEARANCES. THE TOP OF THE BARRIER SHALL BE AT LEAST 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES (51 MM) MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, THE BARRIER IS AUTHORIZED TO BE AT GROUND LEVEL OR MOUNTED ON TOP OF THE POOL STRUCTURE, AND THE MAXIMUM VERTICAL CLEARANCE BETWEEN THE TOP OF THE POOL STRUCTURE AND THE BOTTOM OF THE BARRIER SHALL BE 4 INCHES (102 MM).

3109.4.1.1 OPENINGS. OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.

3109.4.1.2 SOLID BARRIER SURFACES. SOLID BARRIERS WHICH DO NOT HAVE OPENINGS SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.

3109.4.1.3 CLOSELY SPACED HORIZONTAL MEMBERS.
WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES (1143 MM), THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 1.75 INCHES (44 MM) IN WIDTH.
WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 1.75 INCHES (44 MM) IN WIDTH.

3109.4.1.4 WIDELY SPACED HORIZONTAL MEMBERS.
WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS 45 INCHES (1143 MM) OR MORE, SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 4 INCHES (102 MM). WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 1.75 INCHES (44 MM) IN WIDTH.

3109.4.1.5 CHAIN LINK DIMENSIONS. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2.25 INCH SQUARE (57 MM SQUARE) UNLESS THE FENCE IS PROVIDED WITH SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NO MORE THAN 1.75 INCHES (44 MM).
3109.4.1.6 DIAGONAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL BE NO MORE THAN 1.75 INCHES (44 MM).

3109.4.1.7 GATES. ACCESS GATES SHALL COMPLY WITH THE REQUIREMENTS OF SECTIONS 3109.4.1.1 THROUGH 3109.4.1.6 AND SHALL BE EQUIPPED TO ACCOMMODATE A LOCKING DEVICE. PEDESTRIAN ACCESS GATES SHALL OPEN OUTWARD AWAY FROM THE POOL AND SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE. GATES OTHER THAN PEDESTRIAN ACCESS GATES SHALL HAVE A SELF-LATCHING DEVICE. RELEASE MECHANISMS SHALL BE IN ACCORDANCE WITH SECTIONS 1008.1.8 AND 1109.13.
WHERE THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE IS LOCATED LESS THAN 54 INCHES (1372 MM) FROM THE BOTTOM OF THE GATE, THE RELEASE MECHANISM SHALL BE LOCATED ON THE POOL SIDE OF THE GATE AT LEAST 3 INCHES (76 MM) BELOW THE TOP OF THE GATE, AND THE GATE AND BARRIER SHALL HAVE NO OPENING GREATER THAN 0.5 INCH (12.7 MM)WITHIN 18 INCHES (457 MM) OF THE RELEASE MECHANISM.

3109.4.1.8 DWELLING WALL AS A BARRIER. WHERE A WALL OF A DWELLING SERVES AS PART OF THE BARRIER, ONE OF THE FOLLOWING SHALL APPLY:

1. DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN 7 SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SHALL BE EQUIPPED WITH A MANUAL

DEACTIVATE THE ALARM FOR A SINGLE OPENING. SUCH DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS. IN DWELLINGS NOT REQUIRED TO BE ACCESSIBLE, TYPE A OR TYPE B UNITS, THE DEACTIVATION SWITCH SHALL BE LOCATED 54 INCHES (1372 MM) OR MORE ABOVE THE THRESHOLD OF THE DOOR. IN DWELLINGS REQUIRED TO BE ACCESSIBLE, TYPE A OR TYPE B UNITS, THE DEACTIVATION SWITCH(ES) SHALL BE LOCATED AT 54 INCHES (1372 MM) MAXIMUM AND 48 INCHES MINIMUM ABOVE THE THRESHOLD OF THE DOOR.

2. THE POOL SHALL BE EQUIPPED WITH A POWER SAFETY COVER THAT COMPLIES WITH ASTM F 1346.

3. OTHER MEANS OF PROTECTION, SUCH AS SELF-CLOSING DOORS WITH SELF-LATCHING DEVICES, WHICH ARE APPROVED BY THE ADMINISTRATIVE AUTHORITY, SHALL BE ACCEPTED SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY SECTION 3109.4.1.8, ITEM 1 OR 2.

3109.4.1.9 POOL STRUCTURE AS BARRIER. WHERE AN ABOVEGROUND POOL STRUCTURE IS USED AS A BARRIER OR WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, AND THE MEANS OF ACCESS IS A LADDER OR STEPS, THEN THE LADDER OR STEPS EITHER SHALL BE CAPABLE OF BEING SECURED, LOCKED OR REMOVED TO PREVENT ACCESS, OR THE LADDER OR STEPS SHALL BE SURROUNDED BY A BARRIER WHICH MEETS THE REQUIREMENTS OF SECTIONS 3109.4.1.1 THROUGH 3109.4.1.8. WHEN THE LADDER OR STEPS ARE SECURED, LOCKED OR REMOVED, ANY OPENING CREATED SHALL NOT ALLOW THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.

3109.4.2 INDOOR SWIMMING POOLS. WALLS SURROUNDING INDOOR SWIMMING POOLS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 3109.4.1.8.

3109.4.3 PROHIBITED LOCATIONS. BARRIERS SHALL BE LOCATED SO AS TO PROHIBIT PERMANENT STRUCTURES, EQUIPMENT OR SIMILAR OBJECTS FROM BEING USED TO CLIMB THE BARRIERS.

3109.5 ENTRAPMENT AVOIDANCE. SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE-OUTLET SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR OTHER SUCH MULTIPLE SUCTION OUTLETS WHETHER ISOLATED BY VALVES OR OTHERWISE SHALL BE PROTECTED AGAINST USER ENTRAPMENT.

3109.5.1 SUCTION FITTINGS. ALL POOL AND SPA SUCTION OUTLETS SHALL BE PROVIDED WITH A COVER THAT CONFORMS TO ASME A112.19.8M, A 12-INCH BY 12-INCH (305 MM BY 305 MM) DRAIN GRATE OR LARGER, OR AN APPROVED CHANNEL DRAIN SYSTEM.

EXCEPTION: SURFACE SKIMMERS.

3109.5.2 ATMOSPHERIC VACUUM RELIEF SYSTEM REQUIRED.
ALL POOL AND SPA SINGLE- OR MULTIPLE-OUTLET CIRCULATION SYSTEMS SHALL BE EQUIPPED WITH AN ATMOSPHERIC VACUUM RELIEF SHOULD GRATE COVERS LOCATED THEREIN BECOME MISSING OR BROKEN. SUCH VACUUM RELIEF SYSTEMS SHALL INCLUDE AT LEAST ONE APPROVED OR ENGINEERED METHOD OF THE TYPE SPECIFIED HEREIN, AS FOLLOWS:

3109.5.3 DUAL DRAIN SEPARATION. SINGLE- OR MULTIPLE-PUMP CIRCULATION SYSTEMS SHALL BE PROVIDED WITH A MINIMUM OF TWO SUCTION OUTLETS OF THE APPROVED TYPE. A MINIMUM HORIZONTAL OR VERTICAL DISTANCE OF 3 FEET (914 MM) SHALL SEPARATE SUCH OUTLETS. THESE SUCTION OUTLETS SHALL BE PIPED SO THAT WATER IS DRAWN THROUGH THEM SIMULTANEOUSLY THROUGH A VACUUMRELIEF- PROTECTED LINE TO THE PUMP OR PUMPS.

3109.5.4 POOL CLEANER FITTINGS. WHERE PROVIDED, VACUUM OR PRESSURE CLEANER FITTING(S) SHALL BE LOCATED IN AN ACCESSIBLE POSITION(S) AT LEAST 6 INCHES (152 MM) AND NOT GREATER THAN 12 INCHES (305 MM) BELOW THE MINIMUM OPERATIONAL WATER LEVEL OR AS AN ATTACHMENT TO THE SKIMMER(S).

COUNTY OF MAUI USE ONLY

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THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION

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NO.	DESCRIPTION	DATE

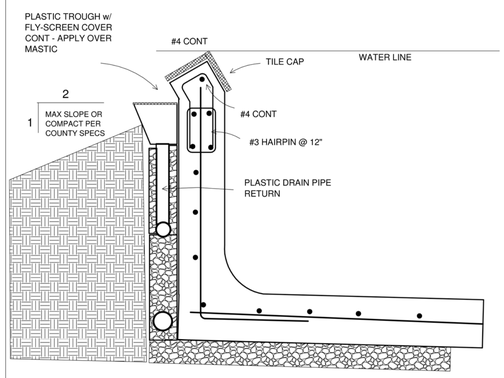
McCLINTOCK
RESIDENCE
LOT 25
(2)-4-4-019:097

POOL ENCL. &
SAFETY DEVICE

DATE: 9/10/2021

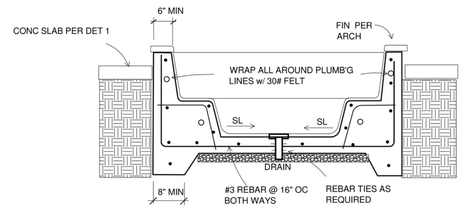
W03

STRUCTURAL DETAILS



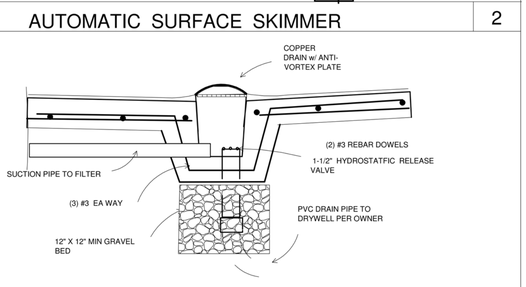
SEE DETAIL 1 FOR REMAINDER OF NOTES

INFINITY EDGE POOL WALL — 5



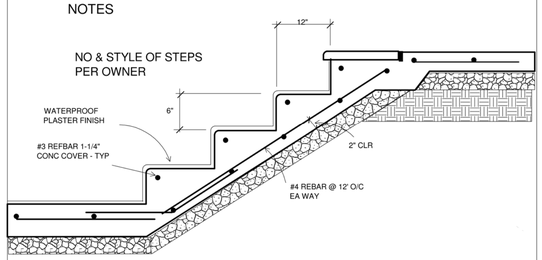
TO BE COORDINATED w/ ARCH & PLUMB'G DWGS

IN-GROUND CONC SPA — 6



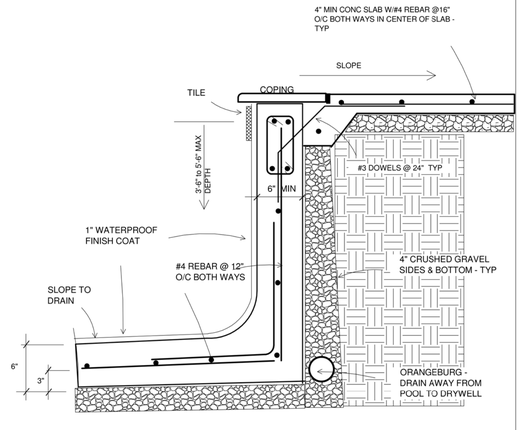
MAIN OUTLET DRAIN — 3

SEE DET 5 FOR
REMAINDER OF TYP
NOTES

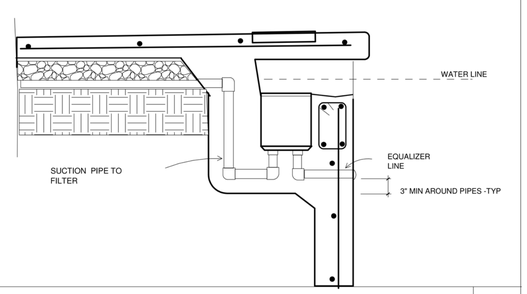


POOL STEPS — 4

SHALLOW POOL WALL — 1



TO BE COORDINATED w/ ARCH & PLUMB'G DWGS



AUTOMATIC SURFACE SKIMMER — 2

STRUCTURAL SPECS & GENERAL NOTES

CONCRETE
Unless noted otherwise, all concrete shall be machine mixed with a maximum of 7.5 gallons of water per sack of cement and shall reach a minimum strength of 2500 psi in 28 days. Cement shall be Type 2, low alkali, ASTM C-150. Aggregate shall be a maximum of 1" ASTM C-33 and maximum slump shall be 5". Concrete 3000 psi and higher shall have 3/4" maximum aggregate and shall be inspected during pour by a County Special Inspector. Location of sleeves for pipes and pipes intended to be cast in concrete for which no specific details are shown shall be subject to the approval of the Architect/ Engineer. No gas or water lines shall be embedded in or under concrete slabs. For double pour, provide No. 3 dowels at 24" o/c per details.
Unless noted otherwise on the drawings, all slab on grade shall be 4" thick and reinforced with No. 4 rebar spaced at 24" on center (o/c) both ways and placed in the center of the slab and poured over a 6 mil polyurethane membrane and over a 4" minimum compacted smooth crushed rock base. Reinforcing steel (rebar) shall be intermediate grade deformed billet steel ASTM A615, Grade 40 for No. 5 and smaller rebar and Grade 60 for No. 6 and larger rebar. Splices shall be a minimum of 30 bar diameters and securely wired together. Splices of adjacent bars shall be staggered wherever possible.

PLUMBING
All plumbing work shall be done in accordance with the rules and regulations of the Department of Health, Uniform Plumbing Code, International Building Code (IBC) and the State and County Codes. Water lines, except irrigation lines, shall be type L hard copper pipe and protected from other metal with plastic spacer clips and have a separate main shut off valve at each unit. Irrigation lines shall be 3/4" minimum, Schedule 40 and have separate shut off valves at the building. All plumbing fixtures and supply faucets shall conform to the IBC Section "water conservation". A pressure regulator shall be installed where pressure is in excess of 65 pounds per square inch (psi). Hot water heater lines shall have a maximum run of 35 feet or provide two (2) smaller energy efficient heaters or a circulation pump. Built-up showers shall be constructed in accordance with Chapter 9 of the Uniform Plumbing Code and provide Pressure Balancing Valves. Provide hot and cold water lines at the clothes washers with a standpipe drain. Provide dryer vents to outside air with a maximum rise of 10 feet. All fixtures shall have shutoff valves. Irrigation system water lines shall be directly from the water meter and bypass the water pressure regulator. Unless noted otherwise on the plans, provide at least one (1) hose bibb at the front, rear, and both sides of the building.

ELECTRICAL
Electrical work shall consist of supplying, installing, and connecting a complete wiring system including service, meter loop, panel board, outlets and wall switches to each unit. Also included is the installation and connections of all light fixtures, fans, smoke detectors, door bells and all other fixtures and appliances furnished by the Owner. The entire installation shall be in accordance with the latest codes and regulations of the National Board of Fire Underwriters, the National Electrical Code and the regulations of the state, county and local codes. The contractor shall pay all inspection fees and shall deliver certificates of completion and inspection to the Gen. Con. All materials shall be Underwriters' Laboratories (UL) approved. The contractor shall install all facilities for overhead or underground service as directed by the utility company. The costs of such service charged against the installation by the utility company shall be paid by the Owner. Back filling of all electrical feeders shall be done by the Gen. Con. and in accordance with the utility company. Conductors shall be sized so that the voltage drop shall not exceed 3% from the main panel board to any outlet under maximum load. Wall switches shall be provided where shown on the plans and color and type to be selected by the Owner and installed 46" high to the center. Receptacles in the bathrooms, laundry room, garage, within 48" of sinks and at the exterior shall use a Ground Fault Interceptor (GFI). The Main meter shall be 2 pole and shall be mounted on the exteror wall in accordance with the utility company requirements. Panel boards shall be TH circuit breaker type and shall be circuited to NEC latest requirements and mounted inside of building and located per plans. All electrically operated fixtures, outlets, equipment or devices, whether installed by the contractor or others, shall be fully connected to proper electrical source and left in operating condition. Wiring shall be non-metallic sheathed cable except where exposed shall be metal flex sheathed or encased in wood conduit.

GRADING
All grading work shall conform to the City, County, State Codes and the recommendations of the soils engineer. No work shall commence until the Dept. of Public Works (DPW) approves a grading permit unless none is required. The contractor shall remove all silt and debris deposited in drainage facilities, roadways and other areas resulting from his work. The costs incurred for any necessary remedial action by the DPW shall be payable by the Contractor. The Contractor, at his own expense, shall keep the Project and surrounding areas free from dust & nuisances. The work shall be in conformance with the Air Pollution Control rules of the State of Health Fugitive Dust. All grading operations shall be performed in conformance with the applicable provisions of the City, County, Water Pollution Control and Water Quality Standards and to the Erosion and Sedimentation Control Standards and Guidelines of the Dept. of Public Works. The Contractor shall sod or plant all slopes and exposed areas immediately after the grading work has been completed. Fills on slopes steeper than 5:1 shall be keyed. The Contractor shall inform the DPW of the location of the disposal and/or borrow sites required for this Project when an application for a grading permit is made. The disposal and/or borrow sites must also fulfill the requirements of the grading ordinance. No grading work shall be done on Saturdays, Sundays, and holidays anytime without prior approval from the DPW. Grading work on normal working days shall be between the hours of 7:00 a.m. to 3:30 p.m. Fills shall be compacted to 90 percent (90%) of maximum density per ASTM D-1557 test. The Gen. Con. shall remove all vegetation before placing fills on natural ground surface. The Client and Gen. Contractor shall notify the Owner that a Soils and/or Geological Engineer shall provide a report of the soils condition prior to any work. Should the Owner select not to have a Soils Engineer report, then the Owner will asume all responsibility for any structural failure as a result of soil and/ or geological failure.

SOIL PREPARATION
Soil shall be treated by a reliable and licensed firm thoroughly familiar with local soil, soil life and chemicals.
The entire area enclosed by footing shall be treated with an approved aqueous solution in accordance with the label and provisions related to the use of those pesticides as adopted by the Federal Insecticide, Fungicide, and Rodenticide Act. The Contractor shall provide the Owner with a minimum warranty of not less than ten (10) years.

TRENCHING & FORMING
Prior to trenching, Contractor shall mark building layout and obtain Owner's and Architect's approval. All excavations shall be in accordance with the drawings and specifications. Use S4S form lumber braced and secured so that no movement will occur during concrete pouring. Prior to pouring, all loose earth, water and debris shall be removed from the foundation bed. Bottom and sides of trenches shall be square, plumb and firm. Bottom of all footings shall have a bearing value of at least 2000 pounds per square foot and shall have no expansive soil and shall have good percolation. The Gen. Con. shall provide for de-watering of all excavations from either surface water or seepage. Forms shall be coated with a non-staining oil before concrete is placed. It is the responsibility of the Owner to assure that no off-site water drains onto the property. All property water shall drain off the site to the street or dispersing area via a non-erosive device. All metal pipes embedded in concrete shall be tightly wrapped with 30# felt or provide ABS sleeves.

STRUCTURAL SPECIFICATIONS/NOTES

RESPONSIBILITY AND LIABILITY
Architects Studio, hereinafter called Architect, and their consultants do not warrant or guarantee the accuracy and completeness of the work herein beyond a reasonable diligence. If any omissions, mistakes, or discrepancies are found to exist within the work project, the Architect shall be promptly notified by the Client before the issuance of a building permit, so that the Architect may have the opportunity to take whatever steps necessary to resolve them. Do not scale drawings, but refer to the written dimensions. The Architect's mandatory field observation takes precedence over the approved structural plans. The Architect's certification is null and void after two (2) years from the certification of the plans. It is the Client's and General Contractor's (Gen. Con.) responsibility to contact the Architect for construction observations in accordance with the Mandatory Observation Schedule as shown on this sheet. It is the Client's and Gen. Con. responsibility to interpret all drawings, specifications, procedures and administration of the construction documents. All contractors shall be licensed and insured. Should the Owner select to act as Owner-Builder, then the Owner will assume responsibility for the project unless the Owner hires the Architect to supervise the construction under a separate contract. All work shall conform to all codes having jurisdiction and local zoning regulations. It is the Gen. Con. responsibility to verify all County and State regulations, local jurisdictions, dimensions, soils/geological and site conditions prior to start of any work and call the County for all required inspections. The Gen. Con. shall furnish all labor, materials, equipment, tools, supplies, transportation and services required to complete all of the work in accordance with the approved drawings and specifications and in an efficient and timely manner. The Gen. Con. shall supervise and direct the work using his best skills and attention and be solely responsible for all construction means, methods, techniques, sequences and procedures. All work and materials shall be in strict accordance with the standard specifications of materials and applications as approved by the Owner and Architect. All Contractors shall obtain and pay for all permits, licenses, insurances and fees required by the governing agencies except for the general building permit and plan check fee which will be paid for by the Owner.
The Gen. Con. is responsible for and installing of all required temporary bracing, shoring and barricades to insure the safety of everyone and to insure that all applicable safety laws are strictly enforced until the occupancy permit is obtained. The Gen. Con. shall protect all work and materials until completion and any loss or damage to any of these will be replaced at his expense. If the Gen. Con. is uncertain or cannot find details and/ or instructions as to the construction of any element in any part of the construction documents, and takes it upon himself to add and construct any portion of the construction not found in the construction documents, then he is solely and completely responsible for that construction he provides. After the Owner takes occupancy of the structure , he/she take responsibility to maintain the Project from damages caused by water, mold, rust, wind, insects, age or any other deleterious effect for the life of the Project.

CODES

2018 IBC
ASCE 05-7
COUNTY OF MAUI

LATERAL FORCES:

SEISMIC

TYPE OF CONST:
OCCUP:
OCCUP FACTOR: 1
IMPORT FACTOR: 1
SOIL SITE CLASS: D

WIND

BASIC WIND SPEED: 105MPH
EFF WIND SPEED: 110MPH
WIND EXPOS: C
Kzt TOPO FACT: 1.0
IMPORT FACT: 1.0
Kd: 0.85

WARNING :

ANY MARKINGS OR ALTERATIONS ON THIS SHEET OR ANY OTHER SHEET IN THIS SET PRINTS WILL NULLIFY THE ARCHITECT/ENGINEER FROM ALL RESPONSIBILITY FOR THESE PLANS. EXCEPTIONS: PLAN CHECKERS MAY PLACE STAMPED NOTES ON THE PRINTS PROVIDED THAT THE NOTE IS NOT ALREADY ON THE PLANS. HOWEVER, THE PLAN CHECKER'S STAMPED NOTE SHALL BE PLACED ON THE SHEET WHERE IT WILL NOT INTERFERE WITH THE READING OF THE PLANS.

The Client shall contact the Architect/Engineer for the following Construction Observations. Failure to contact the Architect/Engineer will absolve him from any responsibility for the Project

Remarks.....	Authorized Signature....	Date
FOOTING		
Bed		
Steel		
Placement		
WALLS		
Steel		
Placement		

COUNTY OF MAUI USE ONLY

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ARCHITECT
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HAWAII, U.S.A.
LIC EXPIRES 4-30-22

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION

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NO.	DESCRIPTION	DATE

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POOL
STRUCTURAL
DETAILS

DATE: 9/10/2021

W04